



**CITY COUNCIL
REGULAR MEETING
AGENDA
WEDNESDAY, MARCH 11, 2026 - 6:00 PM
CITY COUNCIL CHAMBERS
1225 MAIN STREET, SEBASTIAN, FLORIDA**

ALL AGENDA ITEMS MAY BE INSPECTED IN THE OFFICE OF THE CITY CLERK OR ON THE CITY'S WEBSITE

- 1. CALL TO ORDER**
- 2. MOMENT OF SILENCE**
- 3. PLEDGE OF ALLEGIANCE - Led by Council Member Dodd**
- 4. ROLL CALL**
- 5. AGENDA MODIFICATIONS**
Modifications for additions require a unanimous vote of City Council
- 6. PROCLAMATIONS, AWARDS, BRIEF ANNOUNCEMENTS**
Presentations of proclamations, certificates and awards, and brief timely announcements by Council and Staff. No public input or actions under this heading.

Proclamation - Procurement Month - March 2026 and Professional Buyers Day, March 11, 2026 Accepted by Jessica Graham, City of Sebastian Contracts and Procurement Manager

Proclamation - Flood Awareness Week - March 9th - 15th 2026 Accepted by Michelle Faulkner, City of Sebastian Senior Planner

Brief Announcements:

- **Saturday, March 7th-Sebastian River Art Club in Riverview Park from 10am-3pm**
- **Friday, March 13th-Chamber of Commerce Concert in the Park-St. John's Wood at 5:30pm**
- **Saturday March 14th & Sunday March 15th-Craft Club of Sebastian in Riverview Park-10am-3pm**
- **Saturday March 21st & Sunday March 22nd-Shrimpfest in Riverview Park-Saturday 11am-9pm and Sunday 10am-5pm**

- 7. PUBLIC INPUT**
The heading on Regular Meeting agendas "Public Input" provides and opportunity for individuals to bring NEW INFORMATION OR REQUESTS TO CITY COUNCIL NOT OTHERWISE ON THE PREPARED AGENDA. Individuals are asked to resolve matters with staff prior to meetings. Individuals are asked to provide copies of materials for Council one week prior to the meeting if

they intend to refer to specific material. City Council will not debate an issue during Public Input but may by consensus direct a Charter Officer in regard to the item if necessary or place a requested item on a future agenda.

8. CONSENT AGENDA

All items on the consent agenda are considered routine and will be enacted by one motion. There will be no separate discussion of consent agenda items unless a member of City Council so requests; in which event, the item will be removed and acted upon separately. If a member of the public wishes to provide input on a consent agenda item, he/she should request a Council Member to remove the item for discussion prior to start of the meeting or by raising his/her hand to be recognized.

- A. Consider Approval of February 11, 2026 City Council Minutes
[Staff Report](#)
[02-11-2026 Draft CC Minutes](#)
- B. Alcohol Beverage Approval - Achury Family
[Staff Report](#)
[Application and Receipt](#)
- C. Alcohol Beverage Approval - Messer Family
[Staff Report](#)
[Application and Receipt](#)
- D. Alcohol Beverage Approval - Sebastian Fitness
[Staff Report](#)
[Application and Receipt](#)
- E. Alcohol Beverage Approval - Vieyra Family
[Staff Report](#)
[Application and Receipt](#)

9. COMMITTEE REPORTS & APPOINTMENT

City committee reports and Council Member regional committee reports. No public input or action except City committee member nominations and appointments under this heading.

10. PUBLIC HEARINGS

- A. Consideration of Resolution R-26-01 – Approving the Preliminary Replat for “Maxwell Schumann Commercial Subdivision” a 2-lot Commercial Subdivision on 1.93 acres – Existing Zoning Designation of CG (Commercial General)
[Staff Report](#)
[Resolution No. R-26-01](#)
[Survey Attachment A](#)
[Staff Analysis](#)
[Application](#)
[Plans](#)
[Environmental Assessment](#)
[PZ Commission Minutes 1-15-26 Minutes](#)

11. UNFINISHED BUSINESS

12. NEW BUSINESS

13. CITY ATTORNEY MATTERS

14. CITY MANAGER MATTERS

15. CITY CLERK MATTERS

16. CITY COUNCIL MATTERS

Council Member Nunn

Vice Mayor McPartlan

Mayor Jones

Council Member Matthews

Council Member Dodd

17. ADJOURN*(All meetings shall adjourn by 9:30 pm unless extended for up to one half hour by a majority vote of City Council).*

NO STENOGRAPHIC RECORD BY A CERTIFIED COURT REPORTER WILL BE MADE OF THE FOREGOING MEETING. ANY PERSON WHO DECIDES TO APPEAL ANY DECISION MADE BY THE CITY COUNCIL, BOARD OR AGENCY WITH RESPECT TO ANY MATTER CONSIDERED AT THIS MEETING OR HEARING WILL NEED TO ENSURE THAT A VERBATIM RECORD OF THE PROCEEDINGS IS MADE, WHICH RECORD INCLUDES THE TESTIMONY AND EVIDENCE UPON WHICH THE APPEAL IS TO BE HEARD. (F.S.286.0105)

IN COMPLIANCE WITH THE AMERICAN WITH DISABILITIES ACT (ADA) OF 1990, ANYONE WHO NEEDS A SPECIAL ACCOMMODATION FOR THIS MEETING SHOULD CONTACT THE CITY'S ADA COORDINATOR AT 388-8226 – ADA@CITYOFSEBASTIAN.ORG AT LEAST 48 HOURS IN ADVANCE OF THIS MEETING

Regular City Council Meetings

Public input is *ALLOWED* under the headings:

- Consent Agenda
- Public Hearings
- Unfinished Business
- New Business
- Public Input

Public input is *NOT ALLOWED* under the headings:

- Proclamations, Awards, Brief Announcements (except for individuals giving or accepting proclamations or awards)
- Committee Reports and Appointments (except for committee members giving reports and applicants being interviewed for committee appointments)
- City Council Matters
- Charter Officer Matters
- Council may, by majority vote, call upon an individual to provide input if desired.

Workshops and Special Meetings

Public input is limited to the item on the agenda

Time Limit

Input on agenda items where public input is permitted on agendas is THREE MINUTES; however, City Council may extend or terminate an individual's time by majority vote of Council members present.

Input Directed to Chair

Speakers shall address the City Council IMMEDIATELY PRIOR TO CITY COUNCIL DELIBERATION of the agenda item and ALL INPUT SHALL BE DIRECTED TO THE CHAIR, unless answering a question of a member of City Council or City staff. Individuals shall not address City Council after commencement of City Council deliberation on an agenda item after public input has concluded, providing, however, the Mayor and members of City Council may recall an individual to provide additional information or to answer questions.

Certain Remarks Prohibited

Personal, impertinent, and slanderous remarks, political campaigning, and applauding are not permitted and may result in expulsion from the meeting. The Chair shall make determinations on such remarks, subject to the repeal provisions below.

Appealing Decisions of Chair

Any member of Council may appeal the decision of the Chair to the entire Council. A majority vote of City Council shall overrule any decision of the Chair.

Public Input Heading on Agenda

The heading on Regular Meeting agendas "Public Input" provides an opportunity for individuals to bring NEW INFORMATION OR REQUESTS TO CITY COUNCIL NOT OTHERWISE ON THE PREPARED AGENDA. Individuals are asked to attempt to resolve matters with staff prior to meetings. Individuals are asked to provide copies of material for Council one week prior to the meeting if they intend to refer to specific material. City Council will not debate an issue during Public Input but may by consensus direct a Charter Officer in regard to the item if necessary or place a requested item on a future agenda.

CITY OF SEBASTIAN

CITY COUNCIL STAFF REPORT



DATE	March 11, 2026
TO	Honorable Mayor and City Council
THRU	Brian Benton, City Manager
FROM	Cathy Testa, Acting City Clerk
SUBJECT	Consider Approval of February 11, 2026 City Council Minutes

EXECUTIVE SUMMARY

Draft minutes of the February 11, 2026 City Council Minutes are presented for review.

RECOMMENDATION

Request changes if necessary. Consider approval of minutes.

ATTACHMENTS:

1. February 11, 2026 Draft City Council Minutes

FUNDING SOURCE:

Expenditure required	Amount Budgeted:	Funding source
N/A	N/A	N/A

Additional Funds Needed: \$ 0.00



**SEBASTIAN CITY COUNCIL
REGULAR MEETING
MINUTES
WEDNESDAY, FEBRUARY 11, 2026 – 6:00 P.M.
CITY COUNCIL CHAMBERS
1225 MAIN STREET, SEBASTIAN, FLORIDA**

1. Mayor Jones called the Regular Meeting to order at 6:00 p.m.
2. A moment of silence was held.
3. The Pledge of Allegiance was led by Mayor Jones.

4. ROLL CALL

Mayor Fred Jones
Vice Mayor Bob McPartlan
Council Member Ed Dodd
Council Member Chris Nunn
Council Member Sherrie Matthews

Staff Present

City Manager Brian Benton
Interim City Attorney James Stokes
Acting City Clerk Cathy Testa
Chief Financial Officer Brian Stewart
Parks and Recreation Director Richard Blankenship
Public Works Director Lee Plourde
City Engineer & Special Projects Director Karen Miller
Human Resources Director Cindy Watson
Procurement Manager Jessica Graham
Lieutenant Roy Cole

5. AGENDA MODIFICATIONS-None

6. PROCLAMATIONS, AWARDS, BRIEF ANNOUNCEMENTS

Brief Announcements:

Friday, February 13th - The Chamber of Commerce Concert in the Park 5:30 - 8:00pm - Swamp Dawg

Saturday, February 14th - The Craft Club of Sebastian in Riverview Park - 10:00am -3:00pm

Saturday, February 14th - Air Potato Round Up - Stormwater Park on Englar Drive -9:00am - 1:00pm

Monday, February 16th - City Hall will be closed for Presidents Day

Saturday, February 21st - Treasure Coast Astronomical Society will host Star Gaze at Twin Piers in Riverview Park 6:30 - 8:30pm

Council Member Nunn announced the upcoming events.

Mayor Jones announced that a memorial has been installed along River Road at the former statue location in honor of the fishing vessel Lily Jean, a commercial fishing boat from Gloucester, Massachusetts. He explained that all seven individuals aboard the vessel perished when it sank in deep Atlantic waters. Those lost included a father and son, four crew members, and a young woman serving as an official monitor for NOAA. Mayor Jones noted the shared identity between Sebastian and Gloucester as fishing communities of similar size and stated that some Gloucester fishermen have previously visited Sebastian's docks. He advised the council that he contacted the Mayor and Harbor Master of Gloucester to extend condolences on behalf of the city.

The President of the Sebastian Rotary Foundation, Marc Gingras accompanied by Pete Anderson, of Pareidolia Brewing, presented a \$1,500 check to the city for Riverview Park renovations, consistent with the Rotary Foundation's agreement that festival proceeds be allocated toward park improvements. The Rotary President stated that the funds were raised through the Rotary's craft brew festival and distributed through its 501(c)(3) foundation. He acknowledged the city's support in hosting events at the park.

7. PUBLIC INPUT-None

8. CONSENT AGENDA

- A. Consider Approval of December 17, 2025 City Council Minutes
- B. Consider Approval of January 7, 2026 City Council Workshop & Special Meeting Minutes
- C. Consideration of Alcoholic Beverage Approval for the Bonetti Family
- D. Consideration of Alcoholic Beverage Approval for the Peterson Family

MOTION by Council Member Dodd and SECOND by Council Member Nunn to approve Consent Agenda Items A, B, C, and D.

Roll call:	Vice Mayor McPartlan	- aye
	Council Member Nunn	- aye
	Council Member Matthews	- aye
	Council Member Dodd	- aye
	Mayor Jones	- aye

Motion carried. 5-0

9. COMMITTEE REPORTS & APPOINTMENTS

Council Member Dodd announced that earlier in the day, at the County MPO meeting, Vice Mayor McPartlan was elected Chair of the MPO. No further committee reports were provided.

10. PUBLIC HEARINGS-None

11. UNFINISHED BUSINESS

A. Consideration of the proposed "As Is" Property Sales and Purchase Agreement with Spirit of Sebastian, LLC for approximately .68 acres located at Bailey Drive, Sebastian, FL 32958, and authorize the Mayor and City Manager to execute all appropriate documentation

The City Manager presented the item and stated that on December 17th, the City Council accepted ITB 26-01 for the sale of approximately 0.68 acres of surplus land located on Bailey Drive. He advised that the staff has since worked with representatives of Spirit of Sebastian, LLC to finalize the proposed "As Is" Property Sales and Purchase Agreement. The City Manager explained that once the agreement is fully executed, closing shall take place within 45 days. He further stated that staff recommends approval of the agreement and authorization.

Mayor Jones inquired how many bids were received for the property. The Procurement Manager responded that one bid was received and that the bid amount exceeded the appraised value.

Mayor Jones opened public comment. Mr. Robert Votto, representing Spirit of Sebastian, LLC, addressed the Council and stated that the purchaser did not intend to utilize the full 45-day closing period and would work with staff to close as soon as possible. No additional public comment was received in person or via Zoom. Public comment was closed.

MOTION by Vice Mayor McPartlan and SECOND by Council Member Nunn to approve the proposed "As Is" Property Sales and Purchase Agreement with Spirit of Sebastian.

Roll call:	Council Member Nunn	- aye
	Council Member Matthews	- aye
	Council Member Dodd	- aye
	Mayor Jones	- aye
	Vice Mayor McPartlan	- aye

Motion carried. 5-0

12. NEW BUSINESS

A. Consideration of the approval of the grant agreement with the Florida Communities Trust for the purchase of the Sembler property.

The Parks and Recreation Director presented the item, stating that the agreement pertains to the grant award for the potential purchase of the Sembler property located

on Indian River Drive. He clarified that the item before the council was solely the grant agreement and that no negotiation, settlement, or agreement on purchase price or terms had yet occurred. He explained that approval of the agreement represents the first step toward making the acquisition of the property possible.

Council Member Nunn expressed enthusiasm for the opportunity, noting the importance of aquaculture operations within the city. He referenced the success of the local oyster farming operation and stated that securing the property would help preserve and potentially expand aquaculture and the working waterfront.

Council Member Dodd concurred and stated that acquisition of the property would support expansion of aquaculture activities within the Community Redevelopment Area (CRA). He further commented that combining the Sembler property with the former Hurricane Harbor property would provide flexibility in future redevelopment plans, preserve existing dock structures, and create synergy in advancing the city's working waterfront vision.

MOTION by Council Member Nunn and SECOND by Council Member Dodd to approve the grant agreement.

Roll call:	Vice Mayor McPartlan	- aye
	Council Member Nunn	- aye
	Council Member Matthews	- aye
	Council Member Dodd	- aye
	Mayor Jones	- aye

Motion carried. 5-0

B. Consideration of a Purchase Order for Asphalt Paving Systems, not to exceed \$42,970.00, for the Phase 4 road repaving project, specifically for the Mastic preservation process, and authorize the City Manager or designee to execute.

The Public Works Director presented the item, stating that staff worked with Asphalt Paving Systems to identify road segments not scheduled for resurfacing within the next two years under Phases Five and Six of the road repaving project. He explained that funds remaining under the current year's preservation budget, which had not been encumbered, could be utilized to address roads showing signs of failure in order to preserve them until full resurfacing occurs.

The Public Works Director stated that staff conducted an extensive evaluation to determine the most effective preservation method and identified approximately 1,200 square yards of roadway for treatment. The proposed work includes mastic application and crack sealing treatments similar to those previously completed on Main Street, Schumann Drive, and Angler Drive. The total purchase order presented for approval was \$42,970.

Mayor Jones requested clarification for the public regarding what the treatment would look like on the roadway. The Public Works Director explained that the work consists of mastic application and crack sealing in deteriorating areas to extend the life of the pavement.

MOTION by Vice Mayor McPartlan and SECOND by Council Member Nunn to approve the Purchase Order for Asphalt Paving Systems.

Roll call:	Council Member Nunn	- aye
	Council Member Matthews	- aye
	Council Member Dodd	- aye
	Mayor Jones	- aye
	Vice Mayor McPartlan	- aye

Motion carried. 5-0

- C. Consideration of selecting Titan Construction Management LLC for ITB 26-05 Concha and Stonecrop Sheet Piling Repair, Authorization to re-allocate funding from the Schumann Drive Box Culvert project to fund the sheet piling repairs, and authorize the City Manager or designee to issue Purchase Orders up to \$756,250.00

The Procurement Manager presented the item, stating that the city issued Invitation to Bid (ITB) 26-05 for the Concha Dam and Stonecrop Sheet Piling Repairs. Three bids were received, with one submitter deemed non-responsive. After review of the remaining bids, Titan Construction Management, LLC was awarded. However, the proposed cost exceeded the budgeted amount for the project.

To fund the maintenance costs associated with the Concha Dam and Stonecrop Spillway repairs, staff recommended reallocation of funds from the Schumann Drive Box Culvert Project. The Procurement Manager explained that design drawings for the Schumann Drive project were funded through the American Rescue Plan Act (ARPA). The City Engineer/Special Projects Manager confirmed that ARPA funds would continue to be used to finalize the design drawings and that no ARPA funding would be returned. However, construction of the Schumann Drive Box Culvert Project would be placed on hold until construction funding becomes available.

The City Manager clarified that, upon approval, funding budgeted for the Schumann Drive Box Culvert construction would be removed and reallocated to the sheet piling repairs project. He further noted that the Schumann Drive project would move to inactive status until prioritized and funded in a future budget cycle. The City Engineer/Special Projects Manager added that completion of the design package would position the City to pursue grant opportunities to help fund future construction.

MOTION by Council Member Dodd and SECOND by Council Member Matthews to select Titan Construction Management LLC for the Concha and Stonecrop Sheet Piling Repair.

Roll call: Council Member Matthews - aye
Council Member Dodd - aye
Mayor Jones - aye
Vice Mayor McPartlan - aye
Council Member Nunn - aye

Motion carried. 5-0

D. Consideration of Resolution No. R-26-06 Accepting the 4th Quarter Financial Report and Recognizing Necessary Amendments and Adjustments to the FY 2024-2025 Annual Budget

The Finance Director presented the item, noting that the report included the capital project status but that the remainder of the quarterly financial data was still under audit and would be presented at a later date. The report also included a budget amendment requiring Council approval, with adjustments outlined in the top section and significant line-item adjustments approved by the City Manager listed at the bottom.

Council discussion included positive comments regarding the structure and clarity of the report. No further questions were raised.

MOTION by Vice Mayor McPartlan and SECOND by Council Member Matthews to approve R-26-06.

Roll call: Council Member Nunn - aye
Council Member Matthews - aye
Council Member Dodd - aye
Mayor Jones - aye
Vice Mayor McPartlan - aye

Motion carried. 5-0

E. Consideration of Resolution No. R-26-07 Accepting the 1st Quarter Financial Report and Recognizing Necessary Amendments and Adjustments to the FY 2025-2026 Annual Budget

The Finance Director presented the report, which included financial numbers and analysis comparing actual revenues and expenditures to prior year and budget projections, a cash and investment statement required by city code, the capital project status report, and a budget amendment for first quarter adjustments.

Council Member Dodd noted a 323% increase in grant revenue compared to the prior year and commended the City's success in obtaining additional grants. The Finance Director explained that the timing of grant receipts varies throughout the year and that the current amount aligns with budget expectations, with 35% of the budgeted grant revenue received at 25% through the fiscal year.

MOTION by Council Member Dodd and SECOND by Council Member Nunn to approve R-26-07.

Roll call: Council Member Matthews - aye
Council Member Dodd - aye
Mayor Jones - aye
Vice Mayor McPartlan - aye
Council Member Nunn - aye

Motion carried. 5-0

13. CITY ATTORNEY MATTERS

Attorney Stokes provided an update on board and committee training. He noted that board and committee members are dedicated volunteers and emphasized the importance of providing legal guidance, including proper procedures for motions and voting, compliance with the Sunshine Law, and clarification of public comment roles when members speak at Council meetings. Attorney Stokes indicated that a comprehensive training will be developed for all boards and committees to ensure members are equipped with the necessary legal tools.

14. CITY MANAGER MATTERS

City Manager then provided updates on several items:

- **Bank Signature Authority:**
The City Manager explained that annually, following the selection of a new mayor, signature authority for the city's bank accounts must be updated. The bank now requires more formal meeting minutes to grant that authority.

MOTION by Council Member Dodd and SECOND by Council Member Nunn to authorize changing the signature authority from Vice Mayor McPartlan to Mayor Jones for the current fiscal year.

Roll call: Council Member Dodd - aye
Mayor Jones - aye
Vice Mayor McPartlan - aye
Council Member Nunn - aye
Council Member Matthews - aye

Motion carried. 5-0

- **Special Meeting – CDD Presentation:**
Mayor Jones requested a special meeting on February 24 at 6:30 PM to discuss Community Development Districts (CDDs). The City Manager explained that CDDs function as a quasi-governmental oversight for specific developments, funded through property assessments added to residents' tax bills within the district. The presentation will provide background and guidance as potential new developments express interest in establishing CDDs.
- **Property Tax Workshops:**
The City Manager provided a schedule of property tax workshops:

- February 24: 10:00 AM and 5:00 PM
- February 24 (Special Meeting): 6:30 PM
- February 25: 2:00 PM

The workshops aim to inform the public about property tax allocations, including general fund contributions to departments, and will include presentations, Q&A sessions, and video highlights showcasing department functions and services. The City Manager emphasized the importance of informing residents before the outcome of state legislation is finalized.

15. CITY CLERK MATTERS

Nothing to report.

16. CITY COUNCIL MATTERS

Mayor Jones raised concerns about managing growth in the city, referencing Senate Bill 180 and its preemption of local land use control. Attorney Stokes explained that SB 180 limits municipalities from imposing additional restrictions on development and precludes moratoriums but allows review of rezoning, variances, and conditional uses under existing criteria.

Council Member Dodd emphasized the need to balance property rights, responsible growth, and the economic viability of the city. He noted that strategic planning, such as annexation agreements (e.g., Graves Annexation), can provide the city with leverage to ensure growth aligns with community goals. Council Member Dodd also highlighted that development contributes to the city's tax base and public benefit, contrasting with county-level development, which may not benefit Sebastian residents.

Mayor Jones and Council Members Dodd, Nunn, and McPartlan discussed the importance of careful vetting of development proposals, ensuring public benefits are clearly documented, and maintaining oversight to prevent misrepresentation of project intent (e.g., workforce housing). Council emphasized the need for proactive review, maintaining a balance between growth and community priorities, and utilizing the city's land development code and comprehensive plan to manage development responsibly.

Council Member Matthews congratulated the Lady Sharks basketball team for their district achievements and upcoming games. She noted that the Lady Sharks will host their first game against North Miami on Friday, February 13. Council Member Matthews wished the Lady Shark Weightlifting Team as they headed to states today.

Mayor Jones concluded the discussion by reiterating the Council's role in guiding responsible growth and maintaining public benefit standards, noting that careful review and oversight are essential to ensure projects meet community expectations.

17. Being no further business, Mayor Jones adjourned the Regular Meeting at 6:54 p.m.

Approved at the March 11, 2026 Regular City Council meeting.

Mayor Fred Jones

ATTEST:

Catherine E. Testa, Acting City Clerk

CITY OF SEBASTIAN

CITY COUNCIL STAFF REPORT



DATE	March 11, 2026
TO	Honorable Mayor and City Council
THRU	Brian Benton, City Manager
FROM	Ron Paul, Parks and Recreation Administrative Asst.
SUBJECT	Alcohol Beverage Approval – Achury Family

EXECUTIVE SUMMARY

The Achury Family is having a Holy Communion event at the Sebastian Community Center on May 9th, 2026 and they are requesting permission to serve alcoholic beverages.

RECOMMENDATION

Staff recommends approval

ATTACHMENTS:

1. Rental Application
2. Payment Receipt

FUNDING SOURCE:

Expenditure required	Amount Budgeted:	Funding source
N/A	N/A	N/A

Additional Funds Needed:

Community Center
5/9/2026

7am to 10:00pm

Alcohol serving request
to City Council 3/11/24



**CITY OF SEBASTIAN COMMUNITY CENTER
RENTAL PERMIT APPLICATION**

1225 Main Street
Sebastian, FL 32958
Parks Phone: (772) 228-7054 FAX: (772) 228-7054
* For emergency purposes ONLY, please dial 772.321-8086*

Today's Date: 2/20/2026

Ingrid Y. Achury

Name of Permittee (permits may only be issued to an adult) Name of Organization (if applicable)

734 Jordan Ave

Physical Address

Mailing Address (if different)

Sebastian FL 32958 (772) 633-1601

City State Zip Phone

Holy Communion ingricitemsn.com

Reason for Rental - Type of Function E-Mail Address

LED

Anticipated Number of Attendees (Must be less than a maximum of 150)

May 9, 2026

7am-9am

4pm-10pm

Requested Date Time: From To

Please answer the following yes or no:

- 1) Are you a resident of Sebastian? Yes
- 2) Will there be an admission charge or door charge? NO
- 3) Will alcoholic beverages be served? Yes

If yes, please provide govt. issued ID proof of age

01/26/1985

Date of Birth

Verified by

I, Ingrid Y. Achury, the undersigned, acknowledge that I am the applicant or authorized agent of the above referenced organization, that I am aware of the provisions of the City of Sebastian Codes and Resolutions in respect to this application and use of City facilities for which I have applied and agree to abide by all rules and regulations set out for use of City facilities. I understand that the \$250.00 security deposit will be refunded if the building is left clean and undamaged, however, failure to clean the facilities immediately after the use, or causing any damage to the facility will result in forfeiture, in part or full, of the security deposit.

Signature of Applicant

CITY OF SEBASTIAN
PARKS AND RECREATION RECEIPT

3022

Name Ingrid Achury Cash _____

Date 2/23/26 Check # _____

Community Center
Holy Communion Credit _____

5/9/26 7 am to 9:00 am 4 pm to 10:00 pm Amount Paid

001001 220000 Security Deposit 250.00

001501 362100 Taxable Rent 460.00

001501 362150 Non-Taxable Rent _____

001001 208001 Sales Tax 0.00

001501 342100 Police Security Services _____

001501 366150 Brick Pavers _____

001501 366000 Memorial Benches _____

001501 369400 Reimbursement Services _____

Pick up a key to the
Community Center at
City Hall 5/7 or 5/8

Return the key by 5/12

Deposit refund will be
mailed 5/15/26

AS RP Total Paid 710.00
Initials

CITY OF SEBASTIAN

CITY COUNCIL STAFF REPORT



DATE	February 25, 2026
TO	Honorable Mayor and City Council
THRU	Brian Benton, City Manager
FROM	Ron Paul, Parks and Recreation Administrative Asst.
SUBJECT	Alcohol Beverage Approval – Messer Family

EXECUTIVE SUMMARY

The Messer Family is having a Wedding Reception at the Sebastian Community Center on June 20th, 2026 and they are requesting permission to serve alcoholic beverages.

RECOMMENDATION

Staff recommends approval

ATTACHMENTS:

1. Rental Application
2. Payment Receipt

FUNDING SOURCE:

Expenditure required	Amount Budgeted:	Funding source
N/A	N/A	N/A

Additional Funds Needed:



**CITY OF SEBASTIAN COMMUNITY CENTER
RENTAL PERMIT APPLICATION**

1225 Main Street
Sebastian, FL 32958
Parks Phone: (772) 228-7054 FAX: (772) 228-7054
** For emergency purposes ONLY, please dial 772.321-8086**

Today's Date: 2/18/26

Allyn Messer
Name of Permittee (permits may only be issued to an adult) Name of Organization (if applicable)

127 Filbert St
Physical Address

Sebastian FL 32958 (772) 584-6743
City State Zip Mailing Address (if different) Phone

Wedding reception ajmlpn@yahoo.com
Reason for Rental - Type of Function E-Mail Address

62
Anticipated Number of Attendees (Must be less than a maximum of 150)

6/20/26 1:30 - 8:30
Requested Date Time: From To

Please answer the following yes or no:
1) Are you a resident of Sebastian? Yes
2) Will there be an admission charge or door charge? No
3) Will alcoholic beverages be served? Yes
If yes, please provide govt. issued ID proof of age 9/13/85 ID
Date of Birth Verified by

I, Allyn Messer, the undersigned, acknowledge that I am the applicant or authorized agent of the above referenced organization, that I am aware of the provisions of the City of Sebastian Codes and Resolutions in respect to this application and use of City facilities for which I have applied and agree to abide by all rules and regulations set out for use of City facilities. I understand that the \$250.00 security deposit will be refunded if the building is left clean and undamaged, however, failure to clean the facilities immediately after the use, or causing any damage to the facility will result in forfeiture, in part or full, of the security deposit.

Allyn Messer
Signature of Applicant

**CITY OF SEBASTIAN
PARKS AND RECREATION RECEIPT**

3021

Name Sean O'Connor Cash _____

Date 2/20/2026 Check # _____

Community Center
Wedding Reception Credit _____

6/20/26 ; 1:30pm to 8:30pm **Amount Paid**

001001 220000 Security Deposit 250.00

001501 362100 Taxable Rent (7 hrs) 420.00

001501 362150 Non-Taxable Rent _____

001001 208001 Sales Tax 0,00

001501 342100 Police Security Services _____

001501 366150 Brick Pavers _____

001501 366000 Memorial Benches _____

001501 369400 Reimbursement Services _____

Pick up a key to the
Community Center at City Hall
6/18 or 6/19

Return the key by 6/23

Deposit refund will be
mailed on 6/26/26

AP **Total Paid** 670⁰⁰
Initials

CITY OF SEBASTIAN

CITY COUNCIL STAFF REPORT



DATE	February 25, 2026
TO	Honorable Mayor and City Council
THRU	Brian Benton, City Manager
FROM	Ron Paul, Parks and Recreation Administrative Asst.
SUBJECT	Alcohol Beverage Approval – Sebastian Fitness

EXECUTIVE SUMMARY

Sebastian Fitness is having a Christmas Party at the Sebastian Community Center on December 12th, 2026 and they are requesting permission to serve alcoholic beverages.

RECOMMENDATION

Staff recommends approval

ATTACHMENTS:

1. Rental Application
2. Payment Receipt

FUNDING SOURCE:

Expenditure required	Amount Budgeted:	Funding source
N/A	N/A	N/A

Additional Funds Needed:

CITY OF SEBASTIAN
PARKS AND RECREATION RECEIPT

3017

Name Sebastian Fitness LLC Cash

Date 2/19/2024 Check # 2654

Community Center Credit

Christmas Party

12/12/2023; 7pm to 11pm Amount Paid 250.00

001001 220000 Security Deposit

001501 362100 Taxable Rent 300.00

001501 362150 Non-Taxable Rent

001001 208001 Sales Tax

001501 342100 Police Security Services

001501 366150 Brick Pavers

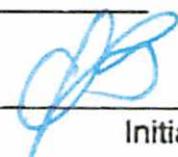
001501 366000 Memorial Benches

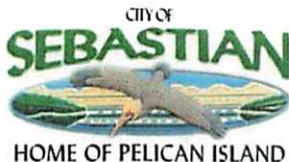
001501 369400 Reimbursement Services

Pick up a key to the
Community Center at
City Hall 12/7 to 12/11

Return the key by 12/15

Deposit refund will be
mailed 12/18/26

 Initials RP Total Paid 550.00



**CITY OF SEBASTIAN COMMUNITY CENTER
RENTAL PERMIT APPLICATION**

1225 Main Street
Sebastian, FL 32958
Parks Phone: (772) 228-7054 FAX: (772) 228-7054
** For emergency purposes ONLY, please dial 772.321-8086**

Today's Date: 2/19/16

Sebastian Fitness

Name of Permittee (permits may only be issued to an adult) Name of Organization (if applicable)

345 Sebastian Blvd.

Physical Address

Mailing Address (if different)

Sebastian FL

32958

(732) 995-2912

City

State

Zip

Phone

Christmas Party

mickidiscyolo@yahoo.com

Reason for Rental - Type of Function

E-Mail Address

60

Anticipated Number of Attendees (Must be less than a maximum of 150)

Dec 12, 2026

7pm to 11pm

Requested Date

Time: From

To

Please answer the following yes or no:

- 1) Are you a resident of Sebastian? yes
- 2) Will there be an admission charge or door charge? no
- 3) Will alcoholic beverages be served? yes

If yes, please provide govt. issued ID proof of age

10/21/67
Date of Birth

R Paul
Verified by

I, Micki Discyolo, the undersigned, acknowledge that I am the applicant or authorized agent of the above referenced organization, that I am aware of the provisions of the City of Sebastian Codes and Resolutions in respect to this application and use of City facilities for which I have applied and agree to abide by all rules and regulations set out for use of City facilities. I understand that the \$250.00 security deposit will be refunded if the building is left clean and undamaged, however, failure to clean the facilities immediately after the use, or causing any damage to the facility will result in forfeiture, in part or full, of the security deposit.

Micki Discyolo
Signature of Applicant

CITY OF SEBASTIAN

CITY COUNCIL STAFF REPORT



DATE	February 25, 2026
TO	Honorable Mayor and City Council
THRU	Brian Benton, City Manager
FROM	Ron Paul, Parks and Recreation Administrative Asst.
SUBJECT	Alcohol Beverage Approval – Vieyra Family

EXECUTIVE SUMMARY

The Vieyra Family is having a Birthday Party at the Sebastian Community Center on June 13th, 2026 and they are requesting permission to serve alcoholic beverages.

RECOMMENDATION

Staff recommends approval

ATTACHMENTS:

1. Rental Application
2. Payment Receipt

FUNDING SOURCE:

Expenditure required	Amount Budgeted:	Funding source
N/A	N/A	N/A

Additional Funds Needed:



**CITY OF SEBASTIAN COMMUNITY CENTER
RENTAL PERMIT APPLICATION**

1225 Main Street
Sebastian, FL 32958
Parks Phone: (772) 228-7054 FAX: (772) 228-7054
** For emergency purposes ONLY, please dial 772.321-8086**

Today's Date: 2/19/2026

Name of Permittee (permits may only be issued to an adult) Name of Organization (if applicable)
Anali M Vieira

Physical Address 829 Tulip Dr.

Mailing Address (if different)
City Sebastian State FL Zip 32958 Phone (772) 584 2422

Reason for Rental - Type of Function Birthday Party E-Mail Address anali@reputationsroof.com

50

Anticipated Number of Attendees (Must be less than a maximum of 150)
Requested Date 06/13/2026 Saturday Time: From 12:00pm To 9:00pm

Please answer the following yes or no:

- 1) Are you a resident of Sebastian? YES
- 2) Will there be an admission charge or door charge? NO
- 3) Will alcoholic beverages be served? YES

If yes, please provide govt. issued ID proof of age

12/03/1990
Date of Birth

R Paul
Verified by

I, Anali Vieira, the undersigned, acknowledge that I am the applicant or authorized agent of the above referenced organization, that I am aware of the provisions of the City of Sebastian Codes and Resolutions in respect to this application and use of City facilities for which I have applied and agree to abide by all rules and regulations set out for use of City facilities. I understand that the \$250.00 security deposit will be refunded if the building is left clean and undamaged, however, failure to clean the facilities immediately after the use, or causing any damage to the facility will result in forfeiture, in part or full, of the security deposit.

Anali Vieira
Signature of Applicant

CITY OF SEBASTIAN
PARKS AND RECREATION RECEIPT

3020

Name Anali Vleyra Cash _____

Date 2/20/2026 Check # _____

Community Center
Birthday Party Credit _____

6/13/26; 12:00pm - 9:00pm **Amount Paid**

001001 220000 Security Deposit 250⁰⁰

001501 362100 Taxable Rent (9 hrs) 500⁰⁰

001501 362150 Non-Taxable Rent _____

001001 208001 Sales Tax 0.00

001501 342100 Police Security Services _____

001501 366150 Brick Pavers _____

001501 366000 Memorial Benches _____

001501 369400 Reimbursement Services _____

Pick up a key for the
Community Center at
City Hall 6/11 or 6/12.

Return the key by 6/16

Deposit refund will be
mailed on 6/19/26

[Signature] RP Total Paid 750⁰⁰
Initials

CITY OF SEBASTIAN

CITY COUNCIL STAFF REPORT



DATE	March 11, 2026
TO	Honorable Mayor and City Council
THRU	Brian Benton, City Manager
FROM	Jim Mann, Principal Planner
SUBJECT	Consideration of Resolution R-26-01 – Approving the Preliminary Replat for “Maxwell Schumann Commercial Subdivision” a 2-lot Commercial Subdivision on 1.93 acres – Existing Zoning Designation of CG (Commercial General)

EXECUTIVE SUMMARY

Todd Maxwell, the property owner, has submitted a request for a two-lot commercial subdivision with access from Schumann Drive and U.S. Highway 1. The subject property consists of approximately 1.93 acres and is located north of Schumann Drive, east of Historic Park, south of Old Dixie Highway, and west of U.S. Highway 1. The applicant is seeking approval of Resolution R-26-01 in order to replat the existing lots of 1 through 8, Tract A and portion of Tract B, Block 406 of the Sebastian Highland Unit 7 and convert to a two-lot commercial subdivision and applicable tracts. The property is currently designated CG (Commercial General) Future Land Use, and with a corresponding zoning of CG (Commercial General). The project will provide applicable tracts for stormwater and dedicated easements for access off of Schumann Drive and U.S. Highway 1.

As part of the parcel exchange agreement approved in the 2023. The property owner for Maxwell-Schumann is to provide offsite improvements, as a Public Benefit Plan, along Schumann Drive that consists of a sidewalk connection from U.S. Highway 1, west to the FEC railroad crossing. Enhanced landscaping will be installed in the median that accompanies a left turn lane into the subdivision along Schumann Drive with additional landscaping along the Historic Park property boundary, and to improve the City’s accessibility to the park itself. Staff recommends a timeline be placed on offsite improvements to be constructed and be installed before Certificate of Completion (CoC) of the Subdivision. If approved this condition shall be added to the Resolution.

The Planning and Zoning Commission/Local Planning Agency held a public hearing at its January 15, 2026 meeting to consider the proposed Preliminary Replat. The Planning and Zoning Commission voted unanimously recommended that City Council approve the Preliminary Plat with conditions regarding the timing of the offsite improves discussed previously.

RECOMMENDATION

Staff recommends approval of Resolution R-26-01 for the proposed Preliminary Replat of Maxwell-Schumann Commercial Subdivision, subject to conditions, for the quasi-judicial public hearing scheduled for March 11, 2026.

ATTACHMENTS:

1. Resolution R-26-01 with Attachments
 - a. Survey
2. Staff Analysis
3. Preliminary Plat Application

- 4. Plan Set Preliminary Plat
- 5. PZ Commission Minutes 1-15-2026

FUNDING SOURCE:

Expenditure required	Amount Budgeted:	Funding source
N/A	N/A	N/A

Additional Funds Needed: \$ 0.00

RESOLUTION NO. R-26-01

A RESOLUTION OF THE CITY OF SEBASTIAN, INDIAN RIVER COUNTY, FLORIDA, APPROVING THE PRELIMINARY REPLAT FOR A 2-LOT SUBDIVISION KNOWN AS MAXWELL – SCHUMANN COMMERCIAL SUBDIVISION, LOCATED EAST OF HISTORIC PARK, NORTH OF SCHUMANN DRIVE, WEST OF US HIGHWAY 1, AND SOUTH OF OLD DIXIE HIGHWAY; PROVIDING FOR CONFLICTS HEREWITH; PROVIDING FOR SCRIVENER’S ERRORS; AND PROVIDING FOR EFFECTIVE DATE.

WHEREAS, Todd Maxwell has filed an application for a new Preliminary Replat approval for Maxwell – Schumann Commercial Subdivision; and

WHEREAS, the Planning and Zoning Commission unanimously recommended the City Council approve the Preliminary Replat at its January 15, 2026, public hearing; and

WHEREAS, the City Council of the City of Sebastian, Florida has considered the criteria identified in the Land Development Code together with the recommended findings and recommendations of its Staff and Planning and Zoning Commission; and

WHEREAS, the City Council has made the following findings:

- A. The proposed plat is consistent with the goals, objectives and other elements of the Comprehensive Plan 2040.
- B. The proposed plat is in conformity with the substantive requirements of the City of Sebastian code of Ordinances, particularly the Land Development Code.
- C. The proposed plat is not in conflict with the public interest of the citizens of the City of Sebastian.
- D. The proposed plat is compatible with adjacent land uses.
- E. Adequate public facilities and services exist in the City to serve the proposed subdivision and the demand for such use will not exceed the capacity for such services and facilities.
- F. The proposed plat will not result in any adverse impacts on the natural environment.
- G. The proposed plan will not adversely affect the property values in the area, or the general health, safety and welfare of the City or have an adverse impact on the financial resources of the City.
- H. The proposed plat will result in an orderly and local development pattern.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF SEBASTIAN, INDIAN RIVER COUNTY, FLORIDA, AS FOLLOWS:

Section 1. RECITALS/LEGISLATIVE FINDINGS/INTENT.

- a) The City Council of the City of Sebastian hereby adopts and incorporates the recitals above in the Whereas Clauses to this Resolution, the City Staff Report and the City Council Agenda Memorandum relating to this Resolution.
- b) The above recitals set forth in the Whereas Clauses of this Resolution are adopted by the City Council as legislative findings and the intent of the City Council.
- c) The City of Sebastian has complied with all requirements and procedures of Florida law in processing and advertising the Resolution.

Section 2. PROPERTY. The Preliminary Plat approved by the adoption of the Resolution applies to the following described real property, lying and being within the incorporated area of the City of Sebastian, Indian River County, Florida:

See attached Exhibit "A" Property Survey

Section 3. PRELIMINARY PLAT APPROVAL. The City Council of the City of Sebastian, Florida does hereby approve the Preliminary Plat for Maxwell – Schumann Commercial Subdivision as prepared by Joseph W. Schulke, P.E., bearing the date stamp of and received by the Community Development Department on February 25, 2026, as maintained on file, subject to the following conditions:

- a) The Public Benefits listed in Exhibit "C" of the Parcel Exchange Agreement dated November 14th, 2023 be installed before Certificate of Completion (CoC) of the Subdivision.

Section 5. SCRIVENER’S ERRORS. Sections of this Resolution may be renumbered or re-lettered and corrections of typographical errors which do not affect the intent may be authorized by the City Manager, or the City Manager’s designee, without need of further action of City Council by filing a corrected copy of same with the City Clerk.

Section 6. EFFECTIVE DATE. This Resolution shall take effect immediately upon its adoption.

The foregoing Resolution was moved for adoption by Councilmember _____. The motion was seconded by Councilmember _____ and, upon being put to a vote, the vote was as follows:

Mayor Fred Jones	_____
Vice Mayor Bob McPartlan	_____
Councilmember Ed Dodd	_____
Councilmember Sherrie Matthews	_____
Councilmember Christopher Nunn	_____

The Mayor thereupon declared this Resolution duly passed and adopted this 11th day of March, 2026.

CITY OF SEBASTIAN, FLORIDA

By: _____
Mayor Fred Jones

ATTEST:

Approved as to form and legality:

Catherine E. Testa
Acting City Clerk

James D. Stokes,
City Attorney

BOUNDARY SURVEY

LEGAL DESCRIPTION

LOTS 1 THROUGH 8 AND TRACT A, BLOCK 406, SEBASTIAN HIGHLANDS, UNITS 7, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 6, PAGE 6, OF THE PUBLIC RECORDS OF INDIAN RIVER COUNTY, FLORIDA;

LESS AND EXCEPT A PORTION OF LOT 8; SAID PORTION BEING MORE PARTICULARLY BOUNDED AND DESCRIBED AS FOLLOWS:

BEGIN AT THE SOUTHWEST CORNER OF LOT 8 OF SAID PLAT; SAID POINT BEING ON THE NORTH RIGHT-OF-WAY LINE OF SCHUMANN DRIVE; THENCE DEPART SAID NORTH RIGHT-OF-WAY LINE AND RUN N25°28'10"E, ALONG THE WEST LINE OF SAID LOT 8, FOR A DISTANCE OF 105.00 FEET TO THE NORTHWEST CORNER OF SAID LOT 8; THENCE RUN S69°42'41"E, ALONG THE NORTH LINE OF SAID LOT 8, FOR A DISTANCE OF 28.11 FEET; THENCE DEPART SAID NORTH LINE AND RUN S25°28'10"W, FOR A DISTANCE OF 108.56 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF SAID SCHUMANN DRIVE; SAID POINT ALSO BEING A POINT ON A CURVE CONCAVE TO THE SOUTHWEST AND HAVING A RADIUS OF 384.73 FEET, A CHORD BEARING OF N62°26'44"W, AND A CHORD LENGTH OF 28.01 FEET; THENCE RUN NORTHWESTERLY, ALONG THE ARC OF SAID CURVE AND NORTH RIGHT-OF-WAY LINE, FOR A DISTANCE OF 28.02 FEET TO THE POINT OF BEGINNING.

TOGETHER WITH

A PORTION OF TRACT B OF SAID PLAT; SAID PORTION BEING MORE PARTICULARLY BOUNDED AND DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID TRACT B, RUN S26°36'30"E, ALONG THE EAST LINE OF SAID TRACT B, FOR A DISTANCE OF 33.83 FEET TO THE POINT OF BEGINNING OF THE HEREIN DESCRIBED PARCEL OF LAND;

FROM SAID POINT OF BEGINNING, CONTINUE ALONG SAID EAST LINE, S26°36'30"E, FOR A DISTANCE OF 149.34 FEET TO THE NORTHEAST CORNER OF LOT 8, BLOCK 406, OF SAID PLAT; THENCE RUN N69°42'41"W, ALONG THE NORTH LINE OF SAID LOT 8, FOR A DISTANCE OF 77.66 FEET; THENCE DEPART SAID NORTH LINE AND RUN N25°28'10"E, FOR A DISTANCE OF 15.97 FEET TO A POINT OF CURVATURE OF A TANGENT CURVE CONCAVE TO THE WEST AND HAVING A RADIUS OF 105.00 FEET, A CHORD BEARING OF N00°34'05"W, AND A CHORD LENGTH OF 92.18 FEET; THENCE RUN NORTHERLY, ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 52°04'26", FOR A DISTANCE OF 95.43 FEET TO THE POINT OF BEGINNING.

VICINITY MAP



REPORT OF SURVEY:

- * TYPE OF SURVEY: BOUNDARY
- * THIS SURVEY PERFORMED BY: MERIDIAN LAND SURVEYORS LB#6905 1717 INDIAN RIVER BLVD. SUITE 201, VERO BEACH, FLORIDA 32960
- * PROFESSIONAL SURVEYOR & MAPPER IN RESPONSIBLE CHARGE: BILLY M. MOODY PLS# 5336
- * THIS SURVEY MEETS ALL APPLICABLE REQUIREMENTS OF THE FLORIDA STANDARDS OF PRACTICE AS CONTAINED IN 5J-17, FLORIDA ADMINISTRATIVE CODE.
- * ELEVATIONS AND DIMENSIONS SHOWN HEREON ARE MEASURED IN FEET AND DECIMAL PARTS THEREOF.
- * THE LAST DATE OF FIELD WORK WAS: 8/09/2022
- * BUILDING SETBACK LINES, IF SHOWN ARE BASED ON THE BEST AVAILABLE INFORMATION, BUT ARE NOT CERTIFIED TO. THE SETBACKS MUST BE VERIFIED PRIOR TO DESIGN OR CONSTRUCTION.
- * THE BEARING BASE FOR THIS SURVEY IS S89°57'17"E ALONG THE NORTH LINE OF LOT 1, SEBASTIAN HIGHLANDS UNIT 7; PLAT BOOK 6, PAGE 6 PUBLIC RECORDS OF INDIAN RIVER COUNTY, FLORIDA.
- * THE COORDINATES, IF SHOWN ON THIS MAP, REFER TO STATE PLANE COORDINATES, FLORIDA EAST ZONE, NAD 83 (2011 ADJUSTMENT).
- * PLAT (P) AND DEED (D) BEARINGS AND DISTANCES, AS SHOWN ON THIS MAP, ARE FOR REFERENCE ONLY
- * THIS SURVEY DOES NOT CERTIFY TO THE EXISTENCE OR LOCATION OF ANY UNDERGROUND IMPROVEMENTS: UTILITIES, FOUNDATIONS, OR ENCROACHMENTS, EXCEPT AS SHOWN.
- * NO INSTRUMENTS OF RECORD REGARDING EASEMENTS, RIGHT-OF-WAYS, OR OWNERSHIP WERE SUPPLIED TO THIS SURVEYOR, EXCEPT AS SHOWN.
- * UNLESS A COMPARISON IS SHOWN, PLAT AND DEED VALUES AND MEASURED VALUES ARE THE SAME.
- * LEGAL DESCRIPTION IS AS PROVIDED BY THE CLIENT.
- * UNLESS OTHERWISE INDICATED, FOUND MONUMENTATION IS UNIDENTIFIED.
- * THE PARCEL OF LAND SHOWN HEREON APPEARS TO BE IN FLOOD ZONE "X", PER FLOOD INSURANCE RATE MAP #12061C0112 H, DATED DECEMBER 4, 2012.
- * ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.

ABBREVIATIONS

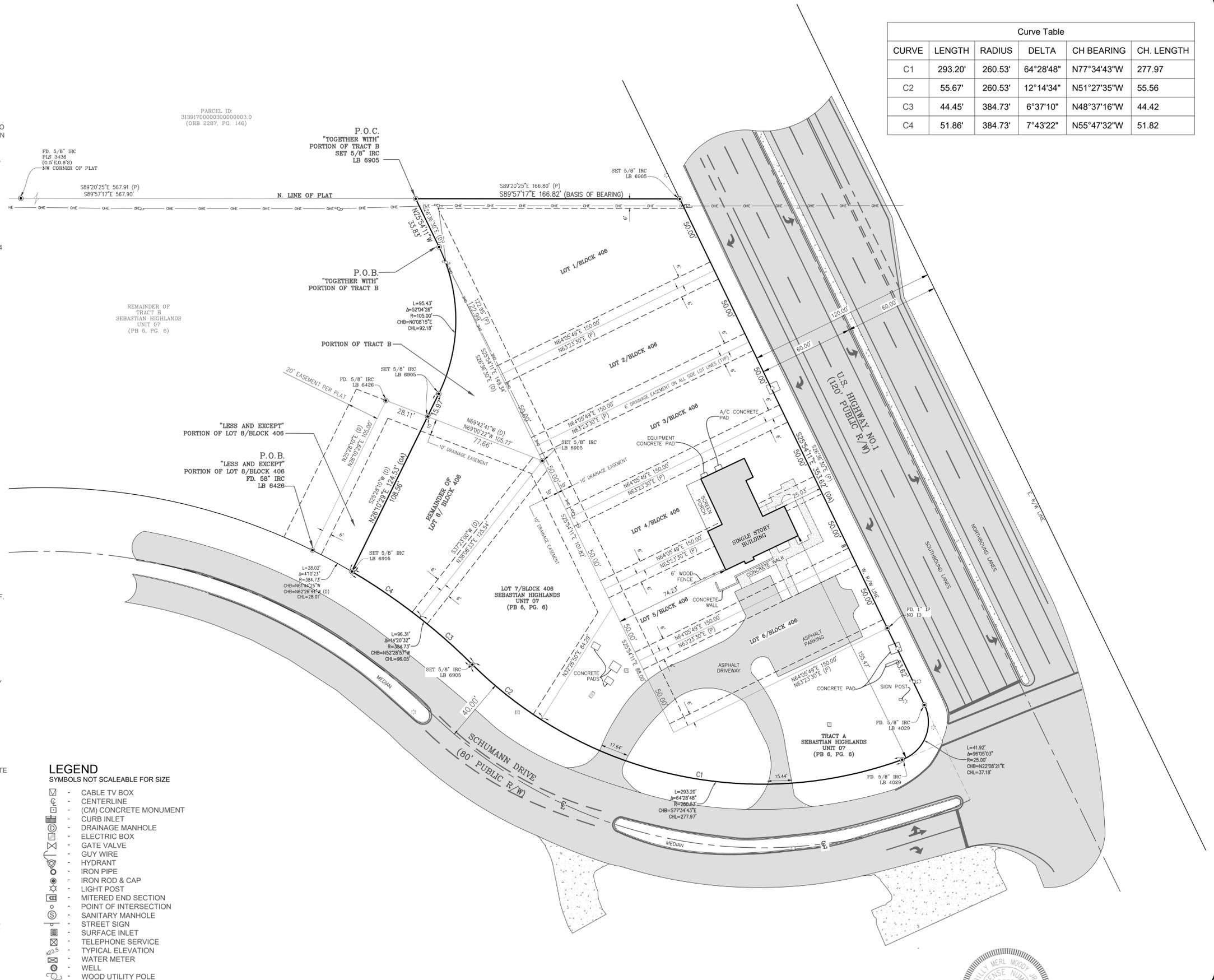
- | | |
|---|--------------------------------------|
| B.M. - BENCHMARK | (P) - PLAT |
| CL - CENTERLINE | (PB) - PLAT BOOK |
| CM - CONCRETE MONUMENT | PBS - PLAT BOOK ST LUCIE COUNTY |
| (D) - DEED | PCP - PERMANENT CONTROL POINT |
| FD - FOUND | P/K - PARKER-KALLON |
| FFE - FINISHED FLOOR ELEVATION | PLS - PROFESSIONAL LAND SURVEYOR |
| IP - IRON PIPE | POC - POINT OF COMMENCEMENT |
| IRC - IRON ROD & CAP | POB - POINT OF BEGINNING |
| LB - LAND SURVEYING BUSINESS | PRM - PERMANENT REFERENCE MONUMENT |
| (M) - MEASURED | PSM - PROFESSIONAL SURVEYOR & MAPPER |
| NAVD88 - NORTH AMERICAN VERTICAL DATUM 1988 | R/W - RIGHT OF WAY |
| ORB - OFFICIAL RECORDS BOOK | |
| (OA) - OVERALL | |

LEGEND

SYMBOLS NOT SCALEABLE FOR SIZE

- CABLE TV BOX
- CENTERLINE
- (CM) CONCRETE MONUMENT
- CURB INLET
- DRAINAGE MANHOLE
- ELECTRIC BOX
- GATE VALVE
- GUY WIRE
- HYDRANT
- IRON PIPE
- IRON ROD & CAP
- LIGHT POST
- MITERED END SECTION
- POINT OF INTERSECTION
- SANITARY MANHOLE
- STREET SIGN
- SURFACE INLET
- TELEPHONE SERVICE
- TYPICAL ELEVATION
- WATER METER
- WELL
- WOOD UTILITY POLE

Curve Table					
CURVE	LENGTH	RADIUS	DELTA	CH BEARING	CH. LENGTH
C1	293.20'	260.53'	64°28'48"	N77°34'43"W	277.97
C2	55.67'	260.53'	12°14'34"	N51°27'35"W	55.56
C3	44.45'	384.73'	6°37'10"	N48°37'16"W	44.42
C4	51.86'	384.73'	7°43'22"	N55°47'32"W	51.82



MERIDIAN LAND SURVEYORS
 1717 INDIAN RIVER BLVD. SUITE 201
 VERO BEACH, FL. 32960 LB#6905
 PHONE: 772-794-1213, FAX: 772-794-1096
 EMAIL: MSL6905LB@GMAIL.COM

GRAPHIC SCALE
 0 40 80 160 320
 (IN FEET)
 1 inch = 80 ft.

NORTH

PLAT OF SURVEY FOR:
600 SCHUMANN DRIVE SEBASTIAN, FL 32958

PROJECT NO: 22-017
 DATE: 9/14/22
 DRAWN BY: NIL
 CHECKED BY: BM
 SCALE: 1" = 30'

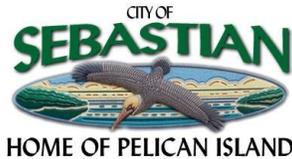
REVISIONS		
NO.	DATE	DESCRIPTION
1	1/11/24	REVISED CITY TO SEBASTIAN
		BY: NIL

THIS SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF THE FLORIDA LICENSED SURVEYOR AND MAPPER NAMED BELOW.

Billy M. Moody
BILLY M. MOODY
 LICENSE NUMBER: 5336
 PROFESSIONAL LAND SURVEYOR
 FLORIDA

9/18/2024
 PSM #5336

SHEET
1 of 1



Community Development Department Preliminary Plat Staff Analysis

1. **Project Name:** Maxwell – Schumann Commercial Subdivision
2. **Requested Action:** Preliminary Plat approval for a 2-lot commercial subdivision
3. **Project Location:**
 - a. **Address:** 600 Schumann Drive
 - b. **Legal:** See survey for full legal description
 - c. **Indian River County Parcel Number:**
31391700002000100000.0
31391700002000200000.1
31391700002406000001.0
31391700002406000004.0
31391700002406000007.0
4. **Project Owner:** Todd Maxwell
500 South Florida Avenue
Suite 700
Lakeland, FL 33801
5. **Project Agent:** Same as Engineer
6. **Project Engineer:** Joseph W. Schulke, P.E.
Schulke, Bittle & Stoddard. LLC
1717 Indian River Boulevard, Suite 201
Vero Beach, Florida 32960
7. **Project Surveyor:** Meridian Land Surveyors, Inc.
1717 Indian River Blvd.
Suite 201
Vero Beach, FL 32960
8. **Project Description**
 - a. **Narrative of proposed action:** The applicant is requesting approval of a two-lot commercial subdivision on 1.94 acres located along Schumann Drive between US Highway 1 and the FEC railroad. This is a replat of a portion of Sebastian Highland Unit 7, Block 406. The current configuration of the proposed development of land is

five total tax parcels. Schumann Road Indian River LLC (Schumann's) and the City of Sebastian agreed upon the parcel swaps to allow for development of a commercial subdivision and to allow the City to gain more access to the City Park located to the west. The parcel exchange also created a Public Benefit Plan which some improvements were to be provided to the surrounding residents at the Schumann's expense. The public benefits are explained later in this staff report and shown on the Preliminary Plat.

The Schumann's wish to replat the properties into two lots and provide improvements for the future development of a commercial subdivision.

- b. **Current Zoning:** CG
Land Use: CG

c. **Adjacent Properties:**

	<u>Zoning</u>	<u>Current Land Use</u>	<u>Future Land Use</u>
North:	CG	Commercial Development	CG
East:	CL (County)	Assisted Living Facility/US1	C/I COM/IN
South:	PS/CG	Church/Comm Dev	INS
West:	PS	Public Park	INS

d. **Site Characteristics**

- (1) **Total Acreage:** 1.94 acres
- (2) **Current Land Use(s):** Vacant
- (3) **Soil:** Immokalee fine sand
- (4) **Vegetation:** Brazilian Pepper, Palms
- (5) **Flood Hazard:** Zone X
- (6) **Water Service:** Indian River County Utilities
- (7) **Sanitary Sewer Service:** Indian River County Utilities
- (8) **Parks:** Historical Park - 0.0 miles
- (9) **Police/Fire:** Sebastian Police – 2.6 miles
IRC Fire – 2.6 miles

9. **Comprehensive Plan Consistency:**

- a. **Future Land Use:** Consistent

- b. **Traffic circulation:** Consistent
- c. **Housing:** n/a
- d. **Public Facilities** Consistent
- e. **Coastal Management** n/a
- f. **Conservation:** Consistent
- g. **Recreation and Open Space:** Consistent

10. Contents of Preliminary Plat:

- a. **Name of subdivision:** Maxwell – Schumann Commercial Subdivision
- b. **Vicinity sketch:** provided
- c. **North arrow and graphic scale:** provided
- d. **Date of preparation:** provided
- e. **Name, address and phone of owner:** provided
- f. **Name, address and registration number of engineer:** provided
- g. **Name, address and registration number of surveyor:** provided
- h. **Names of adjacent subdivisions, including plat book and page number references:** provided
- i. **Names of adjacent property owners:** on file
- j. **Contour map:** provided
- k. **All existing watercourses, drainage ditches and bodies of water, marshes, and other significant, natural or man-made features:** provided
- l. **Name, alignment and width of existing and proposed streets, alleys, rights-of-way or easements including name, right-of-way width, street or pavement width and established center line elevations:** provided
- m. **All existing and proposed property lines, easements and rights-of-way, their purpose, their effect on the property to be subdivided, and the proposed layout of lots and blocks:** provided
- n. **Access points to collector and arterial streets showing their compliance to the access requirements established by ordinance:** provided
- o. **All existing drainage district facilities and their ultimate right-of-way requirements as they affect the property to be subdivided:** provided

- p. **Utilities such as telephone, power, water, sewer, gas, etc., on or adjacent to the property:** provided
- q. **A statement that all utilities are available and have been coordinated with all required utilities:** provided, previously
- r. **Sites proposed for parks, recreational areas and schools:** n/a
- s. **Location of all temporary structures or permanent structures having a temporary use:** none proposed
- t. **If site borders public water, delineate the mean high water line:** n/a
- u. **Permanent reference monuments shall be shown at all block corners, at all points of reverse or compound curvature, and at all points of tangency occurring with block limiting lines:** Shown, will also be shown on final plat
- v. **Block perimeter returns at block corners or other block line intersections:** n/a

11. Required Supplemental Information:

- a. **Existing land use and zoning:** provided
- b. **On-site wastewater disposal data:** to be provided on future site plan
- c. **Surface water management plan:** provided
- d. **Traffic impact analysis:** to be provided on future site plan when the proposed commercial use is known.
- e. **Required park land and/or facility improvements:** n/a
- f. **Required potable water improvements:** Indian River Co. Utilities (future)
- g. **Required wastewater improvements:** Indian River Co. Utilities (future)
- h. **Erosion and sedimentation control improvements:** provided
- i. **Reference to required specifications:** provided
- j. **Schedule of multiple phases:** n/a
- k. **Development schedule:** provided

12. Other Matters: The Preliminary Plat application has been reviewed to meet the City's Land Development Code and improvement requirements of a land swap agreement that was approved by City Council in 2023. The land swap agreement included a Public Benefit Plan, noted in Exhibit "C", for the residents of the surrounding area to provide more access to an existing public park and improvements along Schumann Drive. The improvements within the Pubic Benefit Plan are as follows:

- The parcel exchange improves the City’s accessibility to its parks;
- Additional landscaping on the City’s side of the of the shared parcel boundary;
- A landscaped median that accompanies the eastbound left turn lane into the Schumann Road Indian River parcel;
- Landscape improvement for the existing monument on north side of Schumann Drive; and
- Construction of approximately 580± lineal feet of public sidewalk from Schumann Road Indian River parcel to the railroad tracks.

Staff required all improvements listed above to be noted and designed in the Preliminary Plat documents and will be required to be completed before the subdivision can be completed.

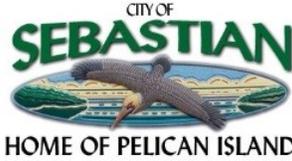
13. Conclusion: The proposed two-lot subdivision is consistent with the Comprehensive Plan, the Code of Ordinances and the Land Development Code.

14. Recommendation: Staff recommends approval of the proposed Preliminary Replat of Maxwell-Schumann Commercial Subdivision and that they forward their recommendation of approval to City Council based on the following conditions:

1. The Public Benefits listed in Exhibit “C” of the Parcel Exchange Agreement dated November 14th, 2023 be installed before Certificate of Completion (CoC) of the Subdivision.

PREPARED BY

DATE



COMMUNITY DEVELOPMENT DEPARTMENT
 1225 MAIN STREET ■ SEBASTIAN, FLORIDA 32958
 TELEPHONE (772) 589-5518 ■ www.cityofsebastian.org

DEVELOPMENT REVIEW APPLICATION

- | | |
|---|--|
| <input type="checkbox"/> PUD – Conceptual Development Plan | <input type="checkbox"/> SUBDIVISION – Division of Single Lot (Residential) |
| <input type="checkbox"/> PUD – Preliminary Development Plan (50 acres or <) | <input type="checkbox"/> SUBDIVISION – Preliminary Plat (50 acres or <) |
| <input type="checkbox"/> PUD – Preliminary Development Plan (> than 50 acres) | <input checked="" type="checkbox"/> SUBDIVISION - Preliminary Plat (> than 50 acres) |
| <input type="checkbox"/> PUD – Site Plan | <input type="checkbox"/> SUBDIVISION – Construction Plans |
| <input type="checkbox"/> PUD – Final Plat | <input type="checkbox"/> SUBDIVISION – Final Plat |
|
 | |
| <input type="checkbox"/> SITE PLAN (Administrative Approval) | <input type="checkbox"/> SITE PLAN (Major Modification) |
| <input type="checkbox"/> SITE PLAN (New Development) | <input type="checkbox"/> SITE PLAN (Minor Modification) |

Project Name: Schumann Drive Commercial Total Site Area: 1.96 **Acres** SF

Parcel ID: 31391700002406000004.0, 31391700002406000001.0, 31391700002000100000.0, 31391700002406000007.0

Address of Site: 600 Schumann Dr, Sebastian, FL 32958

Proposed Use: Commercial Development Land Use: General Commercial Zoning: Commercial General

Applicant Name: Todd Maxwell c/o Schulke, Bittle & Stoddard, LLC

Address: 1717 Indian River Blvd, Suite 201, Vero Beach, FL 32960

Telephone: 863-272-4615 Email: TM4615@gmail.com

Applicant (If not owner, written authorization (notarized) from owner is required)

Owner: Todd Maxwell

Address: 500 South Florida Avenue, Suite 700, Lakeland, FL 33801

Telephone: 863-272-4615 Email: TM4615@gmail.com

Date Received: _____ Fee Paid: _____ Received by: _____

Surveyor: Meridian Land Surveyors, Inc.

Address: 1717 Indian River Blvd., Suite 201, Vero Beach, Florida 32960

Telephone: (772) 794-1213 Email: info@mls-lb6905.com

Engineer: Schulke, Bittle & Stoddard, LLC.

Address: 1717 Indian River Blvd., Suite 201, Vero Beach, Florida 32960

Telephone: (772) 770-9622 Email:

Pre - Application Meeting Date:

DESCRIPTION OF PROPOSED PROJECT:

Proposed 2 lot commercial subdivision

SIGNATURE OF APPLICANT

I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of laws and ordinances governing this type of work will be complied with, whether specified herein or not. The granting of approval does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or the performance of construction.

Lawrence Maxwell, Mr. Signature Date 8/27/2024

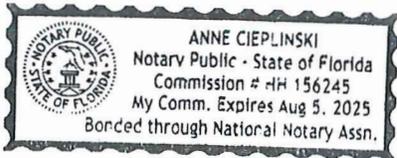
Notary:

STATE OF: Florida COUNTY: Marion

I hereby certify that on August 27th, 2024 personally appeared Lawrence Maxwell who is personally known to me or has produced identification. Type of identification produced: FL drivers license

[SEAL]

Anne Cieplinski Notary Public My Commission Expires: 08/05/2025



DEVELOPMENT REVIEW APPLICATION FEE SCHEDULE\CHECKLIST

APPLICATION FEES:

\$1,200.00 New Site Plan	\$1,250 PUD - Conceptual Development Plan
\$1,000 Major Modification	\$1,800 PUD - Preliminary Development Plan/Plat
\$700 Minor Modification	(50 Acres or Less) (\$1,800 plus \$25/Acre
\$350.00 Administrative Site Plan Review	Greater than 50 Acres)
\$1,500.00 Subdivision Preliminary Plat	
\$1,000 Subdivision Construction Plans	
\$1,000 Subdivision Final Plat	
\$250 Division of Single Lot (residential)	

- A Separate Consulting Engineering Review Fee of \$1,400 up may apply
- A Separate Fire Marshall Site Plan Review Fee of \$75.00 is required

****APPLICATION FEE IS NON-REFUNDABLE UPON PAYMENT TO THE CITY****

DOCUMENTS SUBMITTED FOR APPLICATION REVIEW:

- Refer to [section 54-4-18.4](#) of the land development code for required documents and information to be included on site plan.
- | | |
|---|--|
| <input checked="" type="checkbox"/> Five (5) Sets of 24x36 plans | <input type="checkbox"/> Building Elevations and Floor Plans |
| <input checked="" type="checkbox"/> Five (5) Boundary and Topographic Surveys | <input checked="" type="checkbox"/> Warranty Deed for all owners |
| <input type="checkbox"/> Landscape Plans | <input type="checkbox"/> Notarized Letter of Authorization |
| <input checked="" type="checkbox"/> Traffic Impact Analysis Statement (if required) | <input checked="" type="checkbox"/> Electronic Copy - Complete Submittal |
| <input checked="" type="checkbox"/> Stormwater Calculations | <input type="checkbox"/> Verification that applicable jurisdictional permits have been applied for |
| <input checked="" type="checkbox"/> Environmental Analysis Report | |

ADDITIONAL FEES

Should the review process be delayed by the applicant for longer than 6 months, re-submittal will be required consistent with current regulations and fees.

The applicant/owner shall have 1 year from the approval date to commence construction of all or any phase. If the site plan expires, the applicant/owner must re-apply for a new review with applicable fees. An extension may be requested for additional fees.

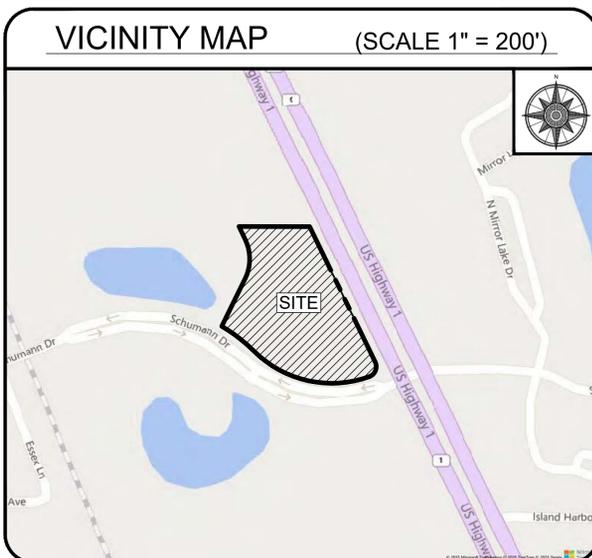
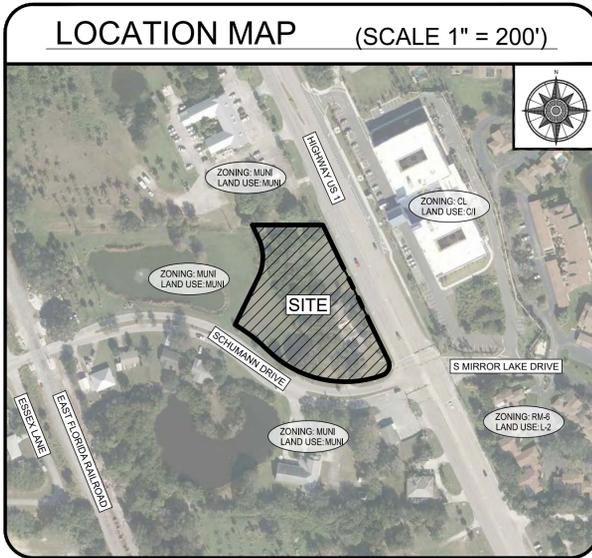
PRELIMINARY PLAT MAXWELL - SCHUMANN COMMERCIAL S/D

A REPLAT OF LOTS 1 THROUGH 8, TRACT A AND A PORTION OF TRACT B, BLOCK 406, SEBASTIAN HIGHLANDS, UNIT 7, PB. 6, P. 6, INDIAN RIVER COUNTY, FLORIDA

600 SCHUMANN DRIVE SEBASTIAN, FLORIDA 32958

SECTION 17, TOWNSHIP 31, RANGE 39

CITY OF SEBASTIAN



PROJECT INFORMATION	
PROJECT INFORMATION	
OWNER:	SCHUMANN ROAD INDIAN RIVER LLC 500 S FLORIDA AVE #700 LAKELAND, FL 33501
ENGINEER:	SCHULKE, BITTLE & STODDARD, LLC 1717 INDIAN RIVER BLVD SUITE 201 VERO BEACH, FL 32960 TEL: (772) 770 - 9622 FAX: (772) 770 - 9496
SURVEYOR:	MERIDIAN LAND SURVEYORS, INC 1717 INDIAN RIVER BLVD., SUITE 201 VERO BEACH, FLORIDA 32960 (772) 794-1213
PROJECT DESCRIPTION:	COMMERCIAL DEVELOPMENT - SUBDIVIDE INTO TWO COMMERCIAL LOTS, INCLUDING SITE WORK TO CREATE TWO "PAD READY" SITES
SITE ADDRESS:	600 SCHUMANN DRIVE SEBASTIAN, FLORIDA 32958
TAX I.D. NO.:	31391700002000100000.0 31391700002000200000.1 31391700002406000001.0 31391700002406000004.0 31391700002406000007.0
FLOOD ZONE:	THE PARCEL OF LAND SHOWN HEREON APPEARS TO BE IN FLOOD ZONE X* PER FLOOD INSURANCE RATE MAP #1206100112 J, DATED 01/26/2023
GROSS AREA:	84,071 SF (1.93 AC)
EXISTING ZONING/LAND USE:	COMMERCIAL GENERAL / GENERAL COMMERCIAL
DEDICATION OF IMPROVEMENTS:	PUBLIC UTILITIES
EXISTING SITE CONDITIONS:	- EXISTING 1 STORY BUILDING (MEDICAL USE) AND PARKING LOT
REQUIRED PERMITS:	CITY OF SEBASTIAN PRELIMINARY PLAT APPROVAL FINAL PLAT APPROVAL LAND CLEARING PERMIT IRRIGATION SITE IMPROVEMENT SUBDIVISION CONSTRUCTION PERMIT STORMWATER PERMIT DE-WATERING PERMIT (IF REQUIRED) DEMO PERMIT R-O-W/ DRIVEWAY INDIAN RIVER COUNTY UTILITY CONSTRUCTION PERMIT S.J.R.W.M.D. ENVIRONMENTAL RESOURCE PERMIT - STORMWATER F.D.E.P. NOTICE OF INTENT TO USE GENERIC PERMIT WASTEWATER CONNECTION WATER CONNECTION I.R.C.W.O.H. WELL ABANDONMENT PERMIT (IF ANY WELLS FOUND ONSITE) SEPTIC TANK ABANDONMENT PERMIT PRE DEMOLITION PERMITTING AND INSPECTION FDOT DRIVEWAY CONNECTION DRAINAGE CONNECTION GENERAL PERMIT - SIDEWALKS UTILITY CONSTRUCTION PERMIT

GENERAL NOTES	
1. SUBMITTALS	
A. PRODUCT DATA AND SHOP DRAWINGS	
1. FOR ALL SITE WORK CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT PRODUCT DATA IN THE FORM OF MANUFACTURERS' CUT SHEETS AND CATALOG DATA FOR ALL PRODUCTS, MATERIAL AND EQUIPMENT CLEARLY INDICATING THE SPECIFIC PART OR PRODUCT CATALOG NUMBER(S) FOR APPROVAL.	
2. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL PRODUCTS, MATERIALS AND EQUIPMENT REQUIRED TO BE FABRICATED, OR WHEN STANDARD PUBLISHED PRODUCT DATA IS NOT SUITABLE FOR USE.	
3. SUBMIT 6 COPIES OF REQUESTED INFORMATION, NEATLY BOUND AND INDEXED PER CATEGORY FOR THE FOLLOWING:	
A. UTILITIES:	
ALL PIPE, FITTINGS, VALVES, OTHER MISCELLANEOUS APPURTENANCES, CONTROLS, PUMP STATION EQUIPMENT, COMPONENTS AND STRUCTURES, AND ALL OTHER UTILITY SYSTEM PRODUCTS, MATERIALS AND COMPONENTS AND SIMILAR CONTROLS.	
B. DRAINAGE:	
ALL PIPE, FITTINGS, AND COMPONENTS THEREOF: STRUCTURES, FRAMES, GRATES, LIDS, CASSETS, FASTENERS, COUPLINGS AND SIMILAR, AND ALL OTHER DRAINAGE SYSTEM PRODUCTS, MATERIALS, AND COMPONENTS AND SIMILAR CONTROLS.	
C. PAVING AND GRADING:	
FOOT CERTIFICATIONS AND LAB ANALYSIS/RESULTS FOR PAVEMENT, BASE, SUBGRADE, AND FILL MATERIALS, INCLUDE EVIDENCE (CERTIFICATIONS) THAT THE MATERIALS PROPOSED TO BE USED MEET OR EXCEED FDOT SPECIFICATIONS AND THE CONTRACT DOCUMENTS.	
D. SIGNING AND PAVEMENT MARKING:	
SIGN AND PAVEMENT MARKING PRODUCTS AND MATERIALS, AND EVIDENCE THAT THE PRODUCTS AND MATERIALS PROPOSED TO BE USED MEET OR EXCEED REQUIREMENTS SPECIFIED IN THE CONTRACT DOCUMENTS, LOCAL ENGINEERING DEPARTMENT, MUTCO AND FDOT SPECIFICATIONS.	
E. IRRIGATION:	
ALL PIPE, FITTINGS, VALVES, OTHER MISCELLANEOUS APPURTENANCES, CONTROLS, PUMP STATION EQUIPMENT, COMPONENTS AND STRUCTURES, AND ALL OTHER UTILITY SYSTEM PRODUCTS, MATERIALS AND COMPONENTS AND SIMILAR CONTROLS, WELLS, AND/OR OTHER IRRIGATION SOURCES, THE CONTRACTOR SHALL SUBMIT AN IRRIGATION COORDINATION DRAWING INDICATING CONTRACTOR'S PROPOSED LOCATION OF MAIN LINES, SECONDARY LINES, HEAD LOCATIONS, WELL, PUMP, CONTROL PANEL, SENSORS, CONTROL VALVE AND VALVE LOCATIONS. THIS DRAWING SHOULD CLEARLY DEPICT ADJUSTMENTS OR CHANGES THE CONTRACTOR PROPOSES. THE DRAWINGS SHALL INDICATE ALL PROPOSED SUBSTITUTIONS OF SIZE, MATERIAL, AND/OR MANUFACTURER.	
4. ALLOW TWO WEEKS FOR THE ENGINEER TO COMPLETE REVIEW OF PRODUCT DATA AND SHOP DRAWINGS. ENGINEER WILL NOT BE RESPONSIBLE FOR PROJECT DELAYS RELATED TO DELIVERY AND TRANSMISSION OF THE DOCUMENTS ONCE INFORMATION HAS LEFT ENGINEER'S OFFICE. ITEMS REQUIRING A LONG LEAD TIME SHOULD BE SUBMITTED AS SOON AS POSSIBLE.	
5. THE CONTRACTOR SHALL PROVIDE A STAMP INDICATING ITS REVIEW AND APPROVAL, INITIALED OR SIGNED, CERTIFYING TO REVIEW OF SUBMITTALS, VERIFICATION OF PRODUCTS, FIELD MEASUREMENTS AND FIELD CONSTRUCTION CRITERIA AND COORDINATION OF THE INFORMATION WITH THE SUBMITTAL WITH REQUIREMENTS OF THE WORK AND OF CONTRACT DOCUMENTS, INCLUDING PLANS AND SPECIFICATIONS OF OTHER DESIGN PROFESSIONALS (I.E.; ARCHITECT, MECHANICAL, ELECTRICAL, AND STRUCTURAL ENGINEERS).	
B. TESTING	
1. WATER: PRESSURE (MAIN AND TAPS), BACTERIOLOGICAL, BACKFILL DENSITIES, BACKFLOW PREVENTOR TESTS AND CERTIFICATION; AND AS PER PROJECT SPECIFICATIONS, LOCAL UTILITIES DEPARTMENT, AND FDEP REQUIREMENTS.	
2. SEWER: EXFIL, TV, AND BACKFILL DENSITIES, PRESSURE TEST (MANS AND TAPS) LIFT STATION START-UP, ALL PER PROJECT SPECIFICATIONS, COWB AND FDEP REQUIREMENTS.	
3. DRAINAGE: EXFIL, LAMPING (FIELD), AND BACKFILL DENSITIES PER PROJECT SPECIFICATIONS AND LOCAL ENGINEERING REQUIREMENTS.	
4. EARTHWORK & PAVING: DENSITIES, LBR'S AND FBV'S AS PER PROJECT SPECIFICATIONS AND LOCAL ENGINEERING REQUIREMENTS.	
5. SUBMIT ALL TEST RESULTS FOR ENGINEERING REVIEW WITHIN 3 DAYS OF TESTING. FAILURE TO PROVIDE TEST RESULTS, OR PROVIDING FAILING TEST RESULTS WILL BE GROUNDS FOR DELAY AND/OR REJECTION OF PAY REQUEST APPLICATIONS.	
C. AS-BUILTS	
1. GRADING: LOCATION AND ELEVATION OF ALL: CONCRETE AND PAVEMENT (VEHICLE USE AND PEDESTRIAN USE IMPROVEMENTS) AT H/L/O/W POINTS, EDGE OF PAVEMENT, AND CENTERLINE AT 50' ON CENTER AND AT CHANGE OF DIRECTION, GRADE BREAKS, PROPERTY LINES (CROSS SECTIONS 50' ON CENTER); TOP OF BANK AND T.O.E. OF SLOPE AND/OR CENTERLINE OF SWALES AND RETENTION AREAS; CROSS SECTIONS 50' ON CENTER ON STORMWATER LAKES FROM TOP TO BOTTOM; MECHANICAL PADS AND FINISHED FLOOR ELEVATIONS; DETAILED LOCATION AND TOPOGRAPHY OF DRIVEWAY TURNOUTS.	
2. WATER AND SEWER FORCE MAINS: LOCATION, TOP ELEVATION AND STATE PLANE COORDINATES AT ALL FITTINGS, VALVES, CHANGES OF DIRECTION AND AT 100' ON CENTER.	
3. GRAVITY SEWER: - SEWER STRUCTURES: DIAMETER OR SIZE, AND LOCATION AND ELEVATION OF STRUCTURES, TOP, BOTTOMS, AND SEWER INVERTS. - MANS AND LATERALS: LOCATION AND INVERT ELEVATIONS AT CONNECTIONS, FITTINGS, AND TERMINATION. - LIFT STATIONS: HORIZONTAL LAYOUT AND LOCATION OF ALL EQUIPMENT, PANELS, VALVES, WET WELL, VALVES; LOCATION OF CONDUIT RUNS AND WATER SERVICE/ HOSE BIBB; LOCATION AND INVERT ELEVATIONS OF GRAVITY AND FORCE MAINS TO AND FROM LIFT STATION; WET WELL DIAMETER, TOP AND BOTTOM ELEVATIONS; PUMP(S) SIZE, TYPE, DISCHARGE DIAMETER, MANUFACTURER AND MODEL #.	
4. DRAINAGE: ALL STRUCTURES DIAMETER OR SIZE, LOCATION, AND ELEVATION OF TOP, BOTTOM, AND INVERT ELEVATIONS. ALL PIPES, DIAMETER, TYPE/MATERIAL, LOCATION AND INVERT ELEVATION AT CONNECTIONS, FITTINGS, AND TERMINATION POINTS.	
5. IRRIGATION: ALL LINES, SYSTEM EQUIPMENT COMPONENTS, MATERIALS INCLUDING PIPES, VALVES, FITTINGS, SPRINKLER HEADS, AND MISCELLANEOUS APPURTENANCES.	
D. OPERATION AND MAINTENANCE MANUALS	
1. CONTRACTOR SHALL PROVIDE THE OWNER WITH OPERATION AND MAINTENANCE MANUALS FOR ALL OPERABLE EQUIPMENT (PUMP STATIONS AND CONTROLS, AUTOMATIC CONTROL VALVES, AND OTHER AUTOMATED EQUIPMENT; CONTROL PANELS, ETC.).	
2. OPERATION AND MAINTENANCE MANUALS SHALL BE SUBMITTED AS A PRE-REQUISITE TO THE PROJECT BEING DEEMED SUBSTANTIALLY COMPLETE.	
E. WARRANTY	
THE CONTRACTOR SHALL PROVIDE ALL WARRANTIES, CERTIFICATIONS, GUARANTEES, AND WARRANTY BONDS AS SPECIFIED IN THE CONTRACT DOCUMENTS AND PERMIT CONDITIONS INCLUDING: - UTILITY MAINTENANCE BOND - FOR ALL PUBLIC WATER AND SEWER UTILITIES INFRASTRUCTURE (25% OF CONTRACT VALUE) - ENGINEERING MAINTENANCE BOND - FOR ALL PAVING, GRADING, AND DRAINAGE IMPROVEMENTS AND INFRASTRUCTURE (25% OF CONTRACT VALUE)	
4. OWNER TRAINING	
THE CONTRACTOR SHALL INCLUDE 2 HOURS OF OWNER TRAINING (FOR EACH WATER, SEWER, DRAINAGE, AND IRRIGATION SYSTEMS) FOR ALL OPERABLE EQUIPMENT AND SHALL INCLUDE THE TIME FOR INITIAL ADJUSTMENTS OF EQUIPMENT AND TIME FOR ONE FOLLOW-UP VISIT AND ADJUSTMENTS OF EQUIPMENT 60 DAYS AFTER END USER HAD OPERATIONAL TIME WITH THE EQUIPMENT.	

LEGAL DESCRIPTION	
LOTS 1 THROUGH 8 AND TRACT A, BLOCK 406, SEBASTIAN HIGHLANDS, UNITS 7, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 6, PAGE 6, OF THE PUBLIC RECORDS OF INDIAN RIVER COUNTY, FLORIDA;	
LESS AND EXCEPT A PORTION OF LOT 8; SAID PORTION BEING MORE PARTICULARLY BOUNDED AND DESCRIBED AS FOLLOWS:	
BEGIN AT THE SOUTHWEST CORNER OF LOT 8 OF SAID PLAT; SAID POINT BEING ON THE NORTH RIGHT-OF-WAY LINE OF SCHUMANN DRIVE; THENCE DEPART SAID NORTH RIGHT-OF-WAY LINE AND RUN N25°28'10"E, ALONG THE WEST LINE OF SAID LOT 8, FOR A DISTANCE OF 105.00 FEET TO THE NORTHWEST CORNER OF SAID LOT 8; THENCE RUN S69°42'41"E, ALONG THE NORTH LINE OF SAID LOT 8, FOR A DISTANCE OF 28.11 FEET; THENCE DEPART SAID NORTH LINE AND RUN S25°28'10"W, FOR A DISTANCE OF 108.56 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF SAID SCHUMANN DRIVE; SAID POINT ALSO BEING A POINT ON A CURVE CONCAVE TO THE SOUTHWEST AND HAVING A RADIUS OF 384.73 FEET, A CHORD BEARING OF N62°26'44"W, AND A CHORD LENGTH OF 28.01 FEET; THENCE RUN NORTHWESTERLY, ALONG THE ARC OF SAID CURVE AND NORTH RIGHT-OF-WAY LINE, FOR A DISTANCE OF 28.02 FEET TO THE POINT OF BEGINNING.	
TOGETHER WITH	
A PORTION OF TRACT B OF SAID PLAT; SAID PORTION BEING MORE PARTICULARLY BOUNDED AND DESCRIBED AS FOLLOWS:	
COMMENCING AT THE NORTHEAST CORNER OF SAID TRACT B, RUN S26°36'30"E, ALONG THE EAST LINE OF SAID TRACT B, FOR A DISTANCE OF 33.83 FEET TO THE POINT OF BEGINNING OF THE HEREIN DESCRIBED PARCEL OF LAND;	
FROM SAID POINT OF BEGINNING, CONTINUE ALONG SAID EAST LINE, S26°36'30"E, FOR A DISTANCE OF 149.94 FEET TO THE NORTHEAST CORNER OF LOT 8, BLOCK 406, OF SAID PLAT; THENCE RUN N69°42'41"W, ALONG THE NORTH LINE OF SAID LOT 8, FOR A DISTANCE OF 77.66 FEET; THENCE DEPART SAID NORTH LINE AND RUN N25°28'10"E, FOR A DISTANCE OF 15.97 FEET TO A POINT OF CURVATURE OF A TANGENT CURVE CONCAVE TO THE WEST AND HAVING A RADIUS OF 105.00 FEET, A CHORD BEARING OF N00°34'05"W, AND A CHORD LENGTH OF 92.18 FEET; THENCE RUN NORTHERLY, ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 52°04'28", FOR A DISTANCE OF 95.43 FEET TO THE POINT OF BEGINNING.	

SHEET LIST TABLE	
#	TITLE
C-000	COVER SHEET
C-100	PRELIMINARY PLAT
C-200	EXISTING SITE CONDITIONS
C-202	GEOTECHNICAL REPORT AND SOIL BORINGS
C-300	STORMWATER POLLUTION PREVENTION PLAN
C-301	STORMWATER POLLUTION PREVENTION PLAN DETAILS
C-500	PAVING, GRADING, DRAINAGE & UTILITY PLAN
C-501	PAVING, GRADING, DRAINAGE & UTILITY SECTIONS
C-510	OFF-SITE IMPROVEMENTS - SCHUMANN DRIVE
C-513	PAVING AND GRADING DETAILS
C-514	PAVING AND GRADING DETAILS CONT.
C-515	PAVING AND GRADING DETAILS CONT.
C-517	TYPICAL PAVEMENT MARKING DETAILS
G-531	IRC STANDARD UTILITY DETAILS - SEWER
G-532	IRC STANDARD UTILITY DETAILS - WATER
G-533	IRC STANDARD UTILITY DETAILS - WATER CONT.
G-534	IRC STANDARD UTILITY DETAILS - MISC.
C-600	LANDSCAPING PLAN
C-601	LANDSCAPE PLAN OFFSITE
ATTACHED	SURVEY

SCHULKE, BITTLE & STODDARD, L.L.C.

CIVIL & STRUCTURAL ENGINEERING · LAND PLANNING · ENVIRONMENTAL PERMITTING

REGISTRY #8668

1717 INDIAN RIVER BLVD., SUITE 201 VERO BEACH, FLORIDA 32960
TEL 772 / 770-9622 FAX 772 / 770-9496 EMAIL info@sbsengineers.com

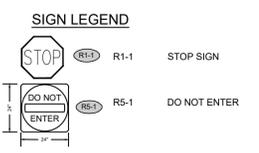
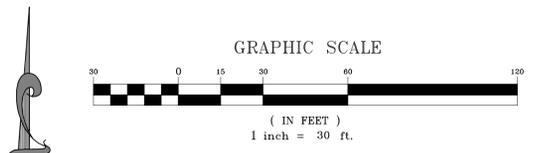
MARK	REVISION	DATE
5	REV. PER 08/10/25 COS COMMENTS	07/16/25
6	REV. PER FDOT COMMENTS	08/11/25
7	REV. PER COS COMMENTS	01/07/26

DATE	2/25/2026
Joseph W. Schulke	REG. No 47048
JOSEPH W. SCHULKE, P.E.	REG. No 57395
JOHANN B. BITTLE, P.E.	REG. No 57605
WILLIAM P. STODDARD, Ph.D., P.E.	

Signed by:



Know what's below.
Call before you dig.



SITE DATA

OWNER:
SCHUMANN ROAD INDIAN RIVER LLC
500 FLORIDA AVE #700
LAKELAND, FL 33801

ENGINEER:
SCHULKE, BITTLE & STODDARD, LLC
1717 INDIAN RIVER BLVD SUITE 201
VERO BEACH, FL 32960
TEL: (772) 770 - 9622
FAX: (772) 770 - 9496

SITE ADDRESS: 600 SCHUMANN DRIVE, SEBASTIAN, FLORIDA 32958

TAX I.D. NO:
31391700002000100000.0
31391700002000200000.1
31391700002406000001.0
31391700002406000004.0
31391700002406000007.0

ZONING: CG
LAND USE: GENERAL COMMERCIAL

FLOOD ZONE: THE PARCEL OF LAND SHOWN HEREON APPEARS TO BE IN FLOOD ZONE X' PER FLOOD INSURANCE RATE MAP #12061C0112 J, DATED 01/26/2023

OVERALL SITE AREA: 84,071 SF (1.93 AC)

EXISTING SITE CONDITIONS
- EXISTING 1 STORY BUILDING AND PARKING LOT (TO BE DEMOLISHED)

MIN. SETBACKS
- FRONT: 0 FT
- SIDE: 5 FT
- REAR: 10 FT

MAX. FAR - .60
MAX. HEIGHT - 35 FT
OPEN SPACE - 20% MIN. (16,814 SF)

TRAFFIC CALCULATIONS

	DAILY TRIPS	PM PEAK HOUR
LOT 1: FAST-FOOD RESTAURANT W/ DRIVE-THRU (2400 SF) (ITE 934):	1122	79
LOT 2: CONVENIENCE STORE/GAS STATION (4800 SF) (ITE 945):	2571	228
TOTAL	3693	307

* THESE ARE ASSUMED WORST CASE USES AND TRAFFIC INTENSITIES. THE ACTUAL USE ON EACH LOT IS NOT DETERMINED AND SEPARATE FUTURE SITE PLANS WILL BE SUBMITTED TO THE CITY WITH ANY PROPOSAL TO DEVELOP EITHER PLATTED LOT.

LAND USE: GENERAL COMMERCIAL

FLOOD ZONE: THE PARCEL OF LAND SHOWN HEREON APPEARS TO BE IN FLOOD ZONE X' PER FLOOD INSURANCE RATE MAP #12061C0112 J, DATED 01/26/2023

OVERALL SITE AREA: 84,071 SF (1.93 AC)

EXISTING SITE CONDITIONS
- EXISTING 1 STORY BUILDING AND PARKING LOT (TO BE DEMOLISHED)

MIN. SETBACKS
- FRONT: 0 FT
- SIDE: 5 FT
- REAR: 10 FT

MAX. FAR - .60
MAX. HEIGHT - 35 FT
OPEN SPACE - 20% MIN. (16,814 SF)

TRAFFIC CALCULATIONS

	DAILY TRIPS	PM PEAK HOUR
LOT 1: FAST-FOOD RESTAURANT W/ DRIVE-THRU (2400 SF) (ITE 934):	1122	79
LOT 2: CONVENIENCE STORE/GAS STATION (4800 SF) (ITE 945):	2571	228
TOTAL	3693	307

* THESE ARE ASSUMED WORST CASE USES AND TRAFFIC INTENSITIES. THE ACTUAL USE ON EACH LOT IS NOT DETERMINED AND SEPARATE FUTURE SITE PLANS WILL BE SUBMITTED TO THE CITY WITH ANY PROPOSAL TO DEVELOP EITHER PLATTED LOT.

LEGAL DESCRIPTION

LOTS 1 THROUGH 8 AND TRACT A, BLOCK 406, SEBASTIAN HIGHLANDS, UNITS 7, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 6, PAGE 6, OF THE PUBLIC RECORDS OF INDIAN RIVER COUNTY, FLORIDA;

LESS AND EXCEPT A PORTION OF LOT 8; SAID PORTION BEING MORE PARTICULARLY BOUNDED AND DESCRIBED AS FOLLOWS:

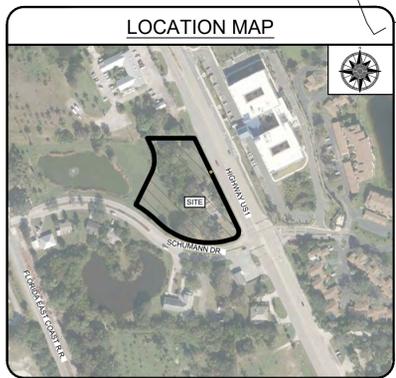
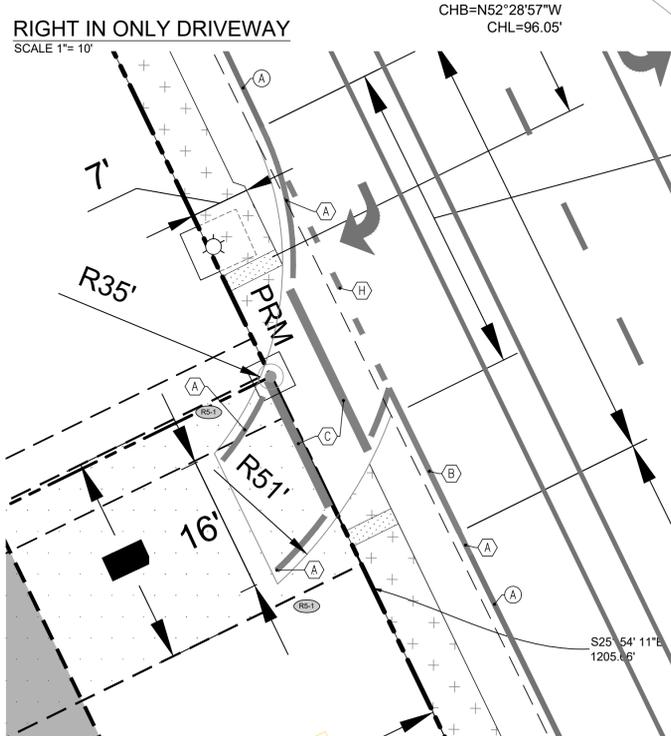
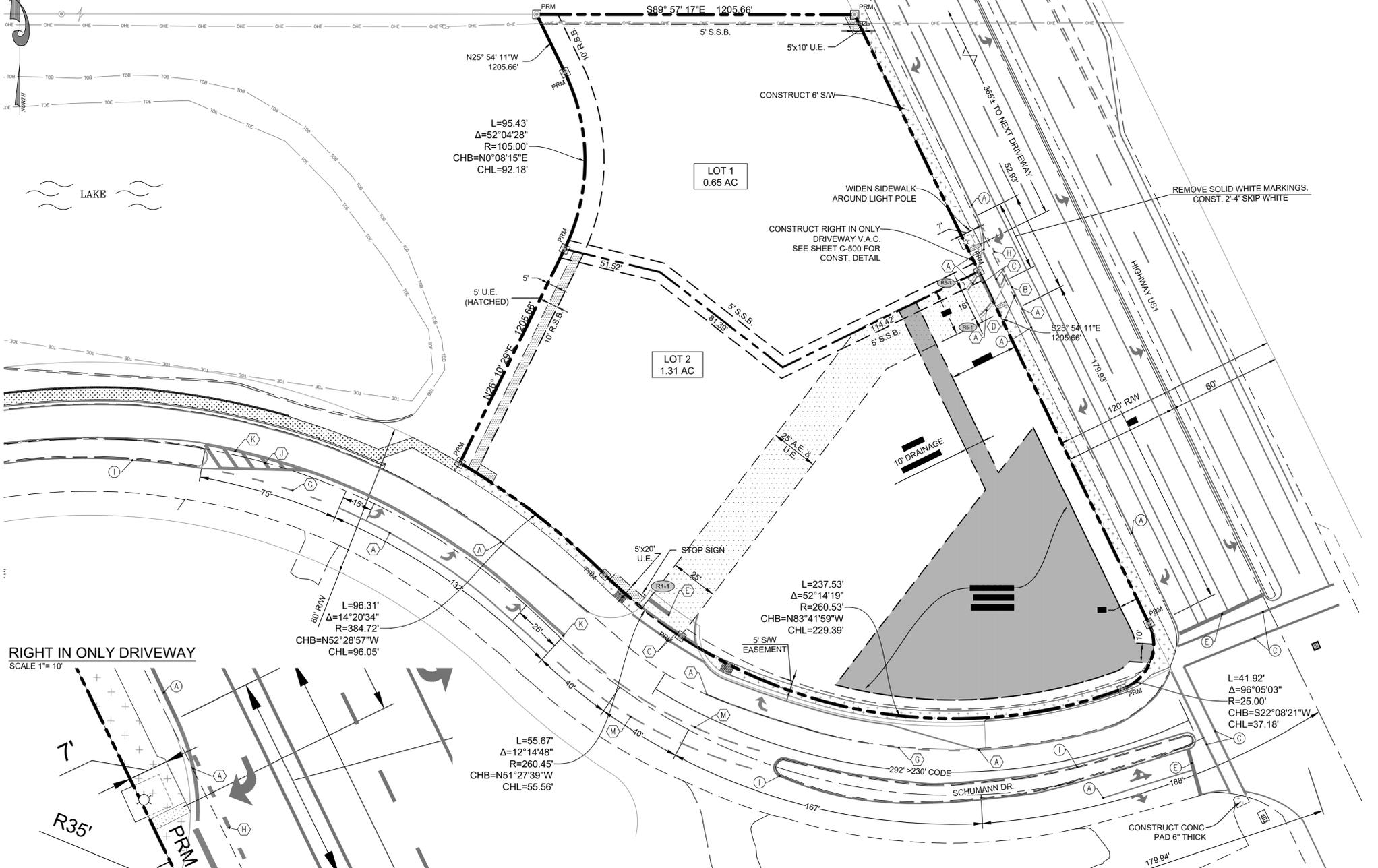
BEGIN AT THE SOUTHWEST CORNER OF LOT 8 OF SAID PLAT; SAID POINT BEING ON THE NORTH RIGHT-OF-WAY LINE OF SCHUMANN DRIVE; THENCE DEPART SAID NORTH RIGHT-OF-WAY LINE AND RUN N25°28'10"E, ALONG THE WEST LINE OF SAID LOT 8, FOR A DISTANCE OF 105.00 FEET TO THE NORTHWEST CORNER OF SAID LOT 8; THENCE RUN S89°42'41"E, ALONG THE NORTH LINE OF SAID LOT 8, FOR A DISTANCE OF 28.11 FEET; THENCE DEPART SAID NORTH LINE AND RUN S25°28'10"W, FOR A DISTANCE OF 108.56 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF SAID SCHUMANN DRIVE; SAID POINT ALSO BEING A POINT ON A CURVE CONCAVE TO THE SOUTHWEST AND HAVING A RADIUS OF 384.73 FEET, A CHORD BEARING OF N62°26'44"W, AND A CHORD LENGTH OF 28.01 FEET; THENCE RUN NORTHWESTERLY, ALONG THE ARC OF SAID CURVE AND NORTH RIGHT-OF-WAY LINE, FOR A DISTANCE OF 28.02 FEET TO THE POINT OF BEGINNING.

TOGETHER WITH

A PORTION OF TRACT B OF SAID PLAT; SAID PORTION BEING MORE PARTICULARLY BOUNDED AND DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID TRACT B, RUN S26°36'30"E, ALONG THE EAST LINE OF SAID TRACT B, FOR A DISTANCE OF 33.83 FEET TO THE POINT OF BEGINNING OF THE HEREIN DESCRIBED PARCEL OF LAND;

FROM SAID POINT OF BEGINNING, CONTINUE ALONG SAID EAST LINE, S26°36'30"E, FOR A DISTANCE OF 149.34 FEET TO THE NORTHEAST CORNER OF LOT 8, BLOCK 406, OF SAID PLAT; THENCE RUN N69°42'41"W, ALONG THE NORTH LINE OF SAID LOT 8, FOR A DISTANCE OF 77.66 FEET; THENCE DEPART SAID NORTH LINE AND RUN N25°28'10"E, FOR A DISTANCE OF 15.97 FEET TO A POINT OF CURVATURE OF A TANGENT CURVE CONCAVE TO THE WEST AND HAVING A RADIUS OF 105.00 FEET, A CHORD BEARING OF N00°34'05"W, AND A CHORD LENGTH OF 92.18 FEET; THENCE RUN NORTHERLY, ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 52°04'28", FOR A DISTANCE OF 95.43 FEET TO THE POINT OF BEGINNING.



STRIPING LEGEND

A = 6" SOLID WHITE	X	PROPOSED STRIPING/MARKING
B = 8" SOLID WHITE		
C = 12" SOLID WHITE		
D = 18" SOLID WHITE		
E = 24" SOLID WHITE		
F = 6" SKIP WHITE TYP (10'-30')	X	EXISTING STRIPING/MARKING
G = 6" SKIP WHITE TYP (6'-10')		
H = 6" SKIP WHITE TYP (2'-4')		
I = 6" SOLID YELLOW		
J = 18" SOLID YELLOW		
K = 6" DOUBLE YELLOW		
L = 6" SKIP YELLOW TYP (10'-30')		
M = 6" SKIP YELLOW TYP (6'-10')		
N = 6" SKIP YELLOW TYP (2'-4')		
P = RPM MONO-DIRECTIONAL WHITE/MONO		
Q = RPM BI-DIRECTIONAL AMBER/AMBER		
R = FDP WHITE		
S = FDP YELLOW		
T = RPM BI-DIREC. WHITE/RED		
U = RPM BI-DIRECTIONAL YELLOW/YELLOW		

NOTE: FDP DENOTES FLEXIBLE DELINEATOR POST.

ABBREVIATIONS

A.E.	ACCESS EASEMENT
U.E.	UTILITY EASEMENT
D.E.	DRAINAGE EASEMENT
D.E.	DRAINAGE EASEMENT TO C.O.S.
S/W EASEMENT	SIDEWALK EASEMENT

SYMBOL LEGEND

PRM	SET PRM
⊙	SET IRON ROD & CAP
⊕	30"x 30" STOP SIGN

SCHULKE, BITTLE & STODDARD, L.L.C.
 CIVIL & STRUCTURAL ENGINEERING - LAND PLANNING - ENVIRONMENTAL PERMITTING
 CERTIFICATION OF AUTHORIZATION NO.: 0008668
 1717 INDIAN RIVER BLVD., SUITE 201 VERO BEACH, FLORIDA 32960
 TEL: 772.770.9622 FAX: 772.770.9496 EMAIL: info@sbsengineers.com

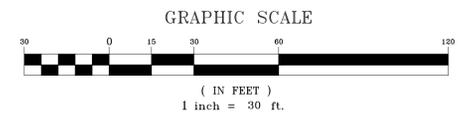
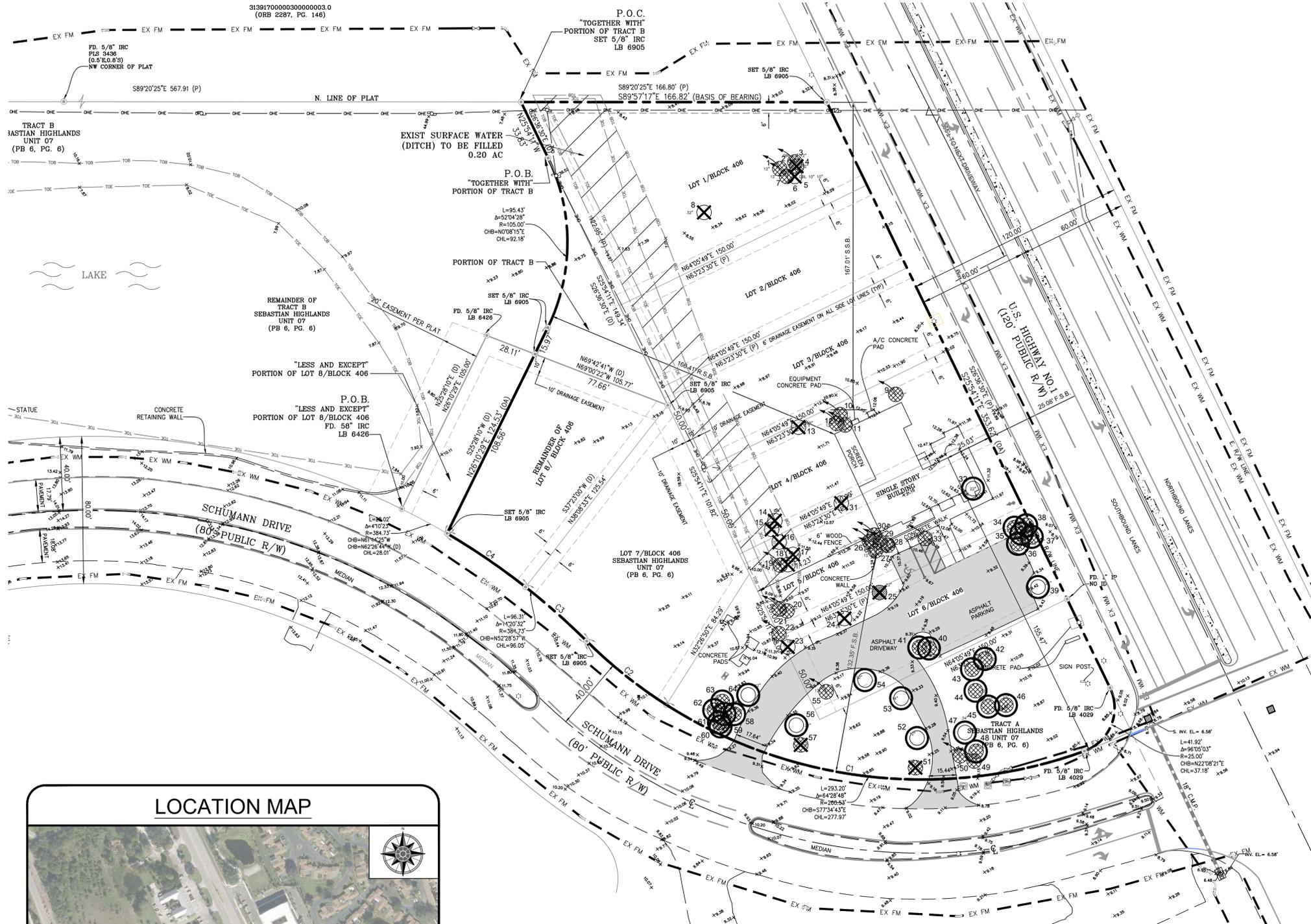
MAXWELL - SCHUMANN COMMERCIAL S/D SEBASTIAN, FLORIDA CITY OF SEBASTIAN

PRELIMINARY PLAT

SHEET
C-100
 PROJECT NO.
 22-031

Signed by:

 2/25/2026



SITE DATA

OWNER:
SCHUMANN ROAD INDIAN RIVER LLC
500 FLORIDA AVE #700
LAKELAND, FL 33801

ENGINEER:
SCHULKE, BITTLE & STODDARD, LLC
1717 INDIAN RIVER BLVD SUITE 201
VERO BEACH, FL 32960
TEL: (772) 770-9622
FAX: (772) 770-9496

SITE ADDRESS: 600 SCHUMANN DRIVE, SEBASTIAN, FLORIDA 32958

TAX I.D. NO.:
31391700002000100000.0
31391700002000200000.1
31391700002406000001.0
31391700002406000004.0
31391700002406000007.0

ZONING: CG

LAND USE: GENERAL COMMERCIAL

FLOOD ZONE: THE PARCEL OF LAND SHOWN HEREON APPEARS TO BE IN FLOOD ZONE X* PER FLOOD INSURANCE RATE MAP #12061C0112 J, DATED 01/26/2023

OVERALL SITE AREA: 84,071 SF (1.93 AC)

EXISTING SITE CONDITIONS
- EXISTING 1 STORY BUILDING AND PARKING LOT

MIN. SETBACKS	CODE	EXIST	EXISTING SITE DATA	
- FRONT:	0 FT	25.2 FT	- BUILDINGS	2,139.74 SF 3%
- SIDE:	5 FT	132.35 FT	- PAVEMENT	8,902.07 SF 10%
- REAR:	10 FT	166.41 FT	- TOTAL IMPERVIOUS	11,041.81 SF 13%
			- OPEN SPACE	74,095.91 SF 87%

FAR: 0.03

LEGAL DESCRIPTION

LOTS 1 THROUGH 8 AND TRACT A, BLOCK 406, SEBASTIAN HIGHLANDS, UNITS 7, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 6, PAGE 6, OF THE PUBLIC RECORDS OF INDIAN RIVER COUNTY, FLORIDA.

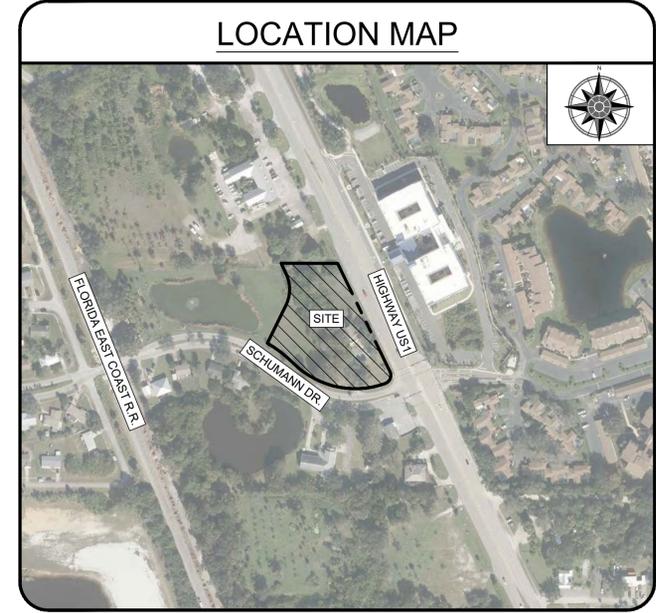
LESS AND EXCEPT A PORTION OF LOT 8, SAID PORTION BEING MORE PARTICULARLY BOUNDED AND DESCRIBED AS FOLLOWS:

BEGIN AT THE SOUTHWEST CORNER OF LOT 8 OF SAID PLAT; SAID POINT BEING ON THE NORTH RIGHT-OF-WAY LINE OF SCHUMANN DRIVE; THENCE DEPART SAID NORTH RIGHT-OF-WAY LINE AND RUN N25°28'10"E, ALONG THE WEST LINE OF SAID LOT 8, FOR A DISTANCE OF 105.00 FEET TO THE NORTHWEST CORNER OF SAID LOT 8; THENCE RUN S69°42'41"E, ALONG THE NORTH LINE OF SAID LOT 8, FOR A DISTANCE OF 28.11 FEET; THENCE DEPART SAID NORTH LINE AND RUN S25°28'10"W, FOR A DISTANCE OF 108.56 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF SAID SCHUMANN DRIVE; SAID POINT ALSO BEING A POINT ON A CURVE CONCAVE TO THE SOUTHWEST AND HAVING A RADIUS OF 384.73 FEET, A CHORD BEARING OF N62°26'44"W, AND A CHORD LENGTH OF 28.01 FEET; THENCE RUN NORTHWESTERLY, ALONG THE ARC OF SAID CURVE AND NORTH RIGHT-OF-WAY LINE, FOR A DISTANCE OF 28.02 FEET TO THE POINT OF BEGINNING.

TOGETHER WITH

A PORTION OF TRACT B OF SAID PLAT; SAID PORTION BEING MORE PARTICULARLY BOUNDED AND DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHEAST CORNER OF SAID TRACT B, RUN S26°36'30"E, ALONG THE EAST LINE OF SAID TRACT B, FOR A DISTANCE OF 33.83 FEET TO THE POINT OF BEGINNING OF THE HEREIN DESCRIBED PARCEL OF LAND.

FROM SAID POINT OF BEGINNING, CONTINUE ALONG SAID EAST LINE, S26°36'30"E, FOR A DISTANCE OF 149.34 FEET TO THE NORTHEAST CORNER OF LOT 8, BLOCK 406, OF SAID PLAT; THENCE RUN N89°42'41"W, ALONG THE NORTH LINE OF SAID LOT 8, FOR A DISTANCE OF 77.66 FEET; THENCE DEPART SAID NORTH LINE AND RUN N25°28'10"E, FOR A DISTANCE OF 15.97 FEET TO A POINT OF CURVATURE OF A TANGENT CURVE CONCAVE TO THE WEST AND HAVING A RADIUS OF 105.00 FEET, A CHORD BEARING OF N03°34'05"W, AND A CHORD LENGTH OF 92.18 FEET; THENCE RUN NORTHERLY, ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 52°40'28", FOR A DISTANCE OF 95.43 FEET TO THE POINT OF BEGINNING.



EXISTING TREES															
#	TREE SPECIES	DBH	OTHER	#	TREE SPECIES	DBH	OTHER	#	TREE SPECIES	DBH	OTHER	#	TREE SPECIES	DBH	OTHER
1	PALM	12"	RELOCATE	11	PALM	12"	RELOCATE	21	PALM	12"	RELOCATE	31	PALM	12"	RELOCATE
2	PALM	12"	RELOCATE	12	PALM	12"	RELOCATE	22	PALM	12"	RELOCATE	32	PALM	12"	RELOCATE
3	PALM	12"	RELOCATE	13	OAK	28"	REMOVE	23	OAK	24"	REMOVE	33	PALM	10"	RELOCATE
4	PALM	12"	REMOVE	14	OAK	10"	REMOVE	24	OAK	24"	REMOVE	34	PALM	10"	RELOCATE
5	OAK	10"	REMOVE	15	OAK	10"	REMOVE	25	PINE	22"	REMOVE	35	PALM	12"	RELOCATE
6	OAK	10"	REMOVE	16	OAK	10"	REMOVE	26	PALM	12"	RELOCATE	36	PALM	12"	RELOCATE
7	PALM	12"	RELOCATE	17	OAK	10"	REMOVE	27	PALM	12"	RELOCATE	37	PALM	10"	REMAIN
8	OAK	32"	REMOVE	18	OAK	6"	REMOVE	28	PALM	12"	RELOCATE	38	PALM	12"	REMAIN
9	PALM	12"	RELOCATE	19	PALM	12"	RELOCATE	29	PALM	12"	RELOCATE	39	OAK	26"	REMAIN
10	PALM	12"	RELOCATE	20	PALM	12"	RELOCATE	30	PALM	12"	RELOCATE	40	PALM	12"	REMAIN
				21	PALM	12"	RELOCATE	31	OAK	40"	REMOVE	41	PALM	12"	REMAIN
				22	PALM	10"	RELOCATE	32	OAK	22"	REMAIN	42	PALM	12"	REMAIN
				23	OAK	18"	REMOVE	33	PALM	10"	RELOCATE	43	PALM	12"	REMAIN
								34	PALM	12"	RELOCATE	44	PALM	12"	REMAIN
								35	PALM	12"	REMAIN	45	PALM	12"	REMAIN
								36	PALM	12"	REMAIN	46	PALM	12"	REMAIN
								37	PALM	10"	REMAIN	47	OAK	34"	REMAIN
								38	PALM	12"	RELOCATE	48	PALM	12"	REMAIN
								39	OAK	26"	REMAIN	49	PALM	12"	RELOCATE
								40	PALM	12"	REMAIN	50	PALM	12"	RELOCATE
								41	PALM	12"	REMAIN	51	PALM	10"	REMOVE
								42	PALM	12"	REMAIN	52	OAK	12"	REMAIN
								43	PALM	12"	REMAIN	53	OAK	14"	REMAIN
								44	PALM	12"	REMAIN	54	OAK	12"	REMAIN
								45	PALM	12"	REMAIN	55	PALM	12"	RELOCATE
								46	PALM	12"	REMAIN	56	OAK	22"	REMAIN
								47	OAK	34"	REMAIN	57	PALM	6"	REMOVE
								48	PALM	12"	REMAIN	58	PALM	10"	REMAIN
								49	PALM	12"	RELOCATE	59	PALM	12"	REMAIN
								50	PALM	12"	RELOCATE	60	PALM	12"	REMAIN
								51	PALM	10"	REMOVE	61	PALM	10"	REMAIN
								52	OAK	12"	REMAIN	62	PALM	12"	REMAIN
								53	OAK	12"	REMAIN				
								54	OAK	12"	REMAIN				
								55	PALM	12"	RELOCATE				
								56	OAK	22"	REMAIN				
								57	PALM	6"	REMOVE				
								58	PALM	10"	REMAIN				
								59	PALM	12"	REMAIN				
								60	PALM	12"	REMAIN				
								61	PALM	10"	REMAIN				
								62	PALM	12"	REMAIN				

TREE LEGEND

- OAK TO REMAIN (8 TREES)
- OAK TO REMOVE (12 TREES)
- OAK TO RELOCATE (0 TREES)*
- CABBAGE PALM TO REMAIN (19 TREES)
- CABBAGE PALM TO REMOVE (3 TREES)
- CABBAGE PALM TO RELOCATE (21 TREES)* (15 OFF-SITE) (6 ONSITE)
- PINE TREE
- PINE TREE TO REMOVE (1 TREES)

MITIGATION REQUIRED

- SPECIMEN TREES TO BE REMOVED: >10" = 12 TREES
- REPLACE WITH (12) TREES: 12" HEIGHT / 2 1/2" DIA.

* NOTE: "A FULL PROPOSAL FOR THE RELOCATION OF THE TREES, INCLUDING THE METHODS AND PROPOSED TIMELINES, WILL BE REQUIRED BY THE CITY OF SEBASTIAN DURING THE LAND CLEARING AND SITE IMPROVEMENT PERMITTING STAGES. THIS PROPOSAL MUST BE APPROVED BY THE CITY OF SEBASTIAN PRIOR TO ANY TREE RELOCATION ACTIVITIES TAKING PLACE."

SCHULKE, BITTLE & STODDARD, L.L.C.
 CIVIL & STRUCTURAL ENGINEERING - LAND PLANNING - ENVIRONMENTAL PERMITTING
 CERTIFICATION OF AUTHORIZATION NO.: 00008688
 1717 INDIAN RIVER BLVD., SUITE 201 VERO BEACH, FLORIDA 32960
 TEL 772 770-9622 FAX 772 770-9496 EMAIL info@sbsengineers.com

MAXWELL - SCHUMANN COMMERCIAL S/D SEBASTIAN, FLORIDA CITY OF SEBASTIAN

EXISTING SITE CONDITIONS

SHEET **C-200**
 PROJECT NO. 22-031

Signed by

 2/25/2026

MX Properties, Inc. May 30, 2024
 Todd Maxwell
 500 South Florida Ave, Ste. 700
 Lakeland, FL 33801

Re: 600 Schumann Drive & US Highway 1
 Sebastian, Florida
 KSM Project #: 2201858-p

Dear Mr. Maxwell:

As requested, KSM Engineering & Testing has performed a subsurface investigation at the above referenced site. The intent of our investigation was to provide aquifer parameters at boring locations. Presentation of the data gathered during the investigation is included in this report.

Scope of Work and Professional Service Agreement:

The scope of work and the agreement to perform a geotechnical exploration is contingent upon KSM's April 26, 2024, proposal to Todd Maxwell.

Site Description:

Location & Physiography – The project site is located on the northwestern corner of Schumann Drive and US Highway 1, in Sebastian, Florida. At the time of drilling, the site was found to be fairly flat with an existing structure. Vegetation on the site consisted mostly of light surface ground cover vegetation and many trees.

Project Description:

The following information is based, in part, on our review of the Conceptual plan sheet, which was provided to KSM by Schulke, Bittle & Stoddard, L.L.C. dated April 25, 2022. If this document has been superseded, or if any changes have been made to this plan sheet, please contact KSM to submit the current plan sheets, so we can make any adjustments and revise this report, if and as necessary. Brief summaries of the developmental features shown on the plans are described below.

The proposed development will consist of the construction of two (2) one-story commercial buildings, one (1) typical gas pump canopy, two (2) stormwater management areas, associated on-site pavement areas and two (2) turn lanes on Schumann Drive. The requested scope of our services at this time is limited to testing within the proposed dry ponds that are proposed to be installed in the southeastern and northwestern quadrants of the site.

The scope of our study consisted of the following tasks:

1. Performed a review of the surficial soil maps, published by the United States Department of Agriculture (USDA) Natural Resources Conservation Service (NCRS).
2. Performed soil borings within the approximate locations of the proposed dry ponds.
3. Measured the depth to the surface of the groundwater body at each boring.
4. Performed in-field "Usual Open Hole Test" procedures at the aforementioned boring locations.
5. Collected soil samples necessary to estimate aquifer parameters.
6. Reviewed the soil samples and field soil boring logs (by a geotechnical engineer) in our laboratory and assigned analytical laboratory testing to selected samples.
7. Performed the assigned analytical laboratory tests on the selected soil samples.
8. Evaluated the discovered subsurface conditions with respect to the proposed project and prepared estimated aquifer parameters for the tested locations.
9. Prepared this report to document our findings.

NCRS Surficial Soil Information:

Based on KSM's review of the USDA soils survey, NCRS indicates that the following USDA soil mapping units were identified within the limits of the project.

4. **Immokalee Fine Sand** – The typical profile of this soil reportedly consists of layers of fine sand that extend from the surface to a depth greater than 6.7 feet. The seasonal high ground water table is anticipated to be located at an approximate depth range of 0.5 to 1.5 feet below existing grade.

Site Investigation:

Subsurface Testing – KSM's site investigation program consisted of performing the following exploration operations and field tests:

- Two (2) Standard Penetration Test (SPT) borings, denoted as PB, terminated at an approximate depth of 20 feet below the existing ground surface, which were performed within the limits of the proposed dry ponds.
- Two (2) "Usual Open-Hole" Tests, denoted as P-1 and P-2, were performed at an approximate depth of 5 feet below existing grade adjacent to the SPT borings.

Soil Classification – The field soil boring logs and recovered soil samples were transported to KSM's office from the project site. Following the completion of the field exploration activities, visual and tactile examination of the soil samples was performed under the supervision of a geotechnical engineer to identify the engineering classification of the soil samples that were obtained in the field exploration. The visual classification of the samples was performed in general accordance with the current Unified Soil Classification System (ASTM D 2487).

General Subsurface Soil Classification Summary – The following table outlines the general subsurface conditions that were encountered during our investigation. Refer to the boring logs and location map for specific information regarding our interpretation of the field boring logs.

Generalized Soil Profile	
Approximate Depth Below Grade (Feet)	Discovered Subsurface Conditions
0 to 11	Loose to medium-dense sand with near surface roots
11 to 20	Loose to medium-dense slightly silty sand with shell fragments

SPT Borings – The SPT boring profiles contain "N" values. These "N" values represent the number of hammer blows required to advance the split spoon sampler 12 inches. The "N" values have been empirically correlated with various soil properties and are indicative of the relative density of the soils. The "N" values were obtained by means of an automatic hammer. The following table presents relative densities of cohesionless/granular soils and their corresponding ranges of SPT data.

SPT "N" Value Interpretation	
Relative Density	Automatic Hammer
Very Loose	0 – 3
Loose	3 – 8
Medium Dense	8 – 24
Dense	24 – 40
Very Dense	>40

All testing was performed in general accordance with applicable ASTM Standards and/or industry standards with a standard practice of care.

Groundwater Surface Depths – Following the completion of each soil boring, the groundwater was allowed to attain an equilibrium level, and the approximate depth to the observed groundwater was measured from the existing ground surface. The measured depth was recorded on the field log. The observed groundwater was measured at approximate depths ranging from 3.8 to 5.5 feet below existing grade.

The records of the soils encountered, the penetration resistances, and groundwater levels are documented on the attached boring logs.

Analytical Laboratory Testing:

Natural Moisture Content – Testing was performed in general accordance with procedures described in ASTM D 2216-19.

Fines Content – Testing was performed in general accordance with procedures described in ASTM D 1140-17.

The following tests were performed on the soils listed below:

Analytical Laboratory Testing Results					
Boring	Sample Depth (ft)	Soil Description	Fines %	Moisture %	
PB-1	0 – 2	Gray Sand with Traces of Roots	1.9	1.1	
PB-1	2 – 4	Light Gray Sand	1.2	0.9	
PB-1	4.5 – 6	Brown Sand	3.1	16.8	
PB-1	11 – 12.5	Gray Slightly Silty Sand with Shell Fragments	7.8	22.2	

Estimated Aquifer Parameters:

Factor of Safety – KSM has not applied a factor of safety to the estimated aquifer parameters delineated within this report. The Engineer of Record is responsible for applying the appropriate factor(s) of safety to the estimated aquifer parameters contained within this report for use in their design.

In-Field Testing – At the test location, a Usual Condition Test was performed in general accordance with the Florida Water Management District described procedures for the Usual Open-Hole Test method.

In-Field Testing – Estimated Aquifer Parameters		
Test Location (See Location Plan)	Approximate Test Depth (ft)	Hydraulic Conductivity (CFS/SF - Ft Head)
P-1	5'	4.9 x 10 ⁻⁴
P-2	5'	4.0 x 10 ⁻⁴

Laboratory Testing and Professional Judgement – Selected samples obtained from our site investigation were tested in our laboratory in general accordance with ASTM D2434, ASTM D1140-17 and ASTM C136.

Estimated Aquifer Parameters – Laboratory Testing & Professional Judgement

Test Location	Stratum Depth (ft)	Horizontal Saturated Flow Rate (in/hr)	Vertical Saturated Flow Rate (in/hr)	Cu	Cc	Fines Content (%)	Fineness Modulus
P-1, PB-1	0 – 2	24.2	16	2.5	1.0	1.9	1.6
	2 – 4.5	23.0	15	2.3	1.0	1.2	1.6
	4.5 – 11	3.7	2.5	2.2	0.9	3.1	1.6
P-2, PB-2	11 – 20	3*	1	4.3	0.9	7.8	1.8
	0 – 5	23.3	15	2.5	1.0	1.9	1.6
	5 – 11	3.7	2.5	2.2	0.9	3.1	1.6
	11 – 20	3*	1	4.3	0.9	7.8	1.8

*Estimation, based, in part, on our review of the retrieved samples and our interpretation of laboratory results and SWM92 Special Publication S283-S2916, Correlation of Hydraulic Conductivity with Friction by Weight Passing the U.S. No. 200 Sieve (Poorly Graded Fine Sands).

Vertical Flow Rates – We consider the measured permeability rate to be indicative of a saturated horizontal permeability. Experience and published references have indicated that unsaturated vertical permeability as used in some locally available groundwater models is typically 2/3 to 1/2 the saturated value.

Flow Restrictive Stratum – Based on the results of our soil borings and laboratory testing, we encountered a stratum which we estimate exhibit restrictive flow rates relative to the overlying stratum, which is described below.

- Deposits of gray slightly silty sand, encountered at a depth range from 11 to 20 feet below existing grade in borings PB-1 and PB-2.

Seasonal Groundwater Fluctuation – The following table delineates the observed groundwater surface depths, together with the estimated normal wet season and normal dry season water table depths (below existing grade) for the test location. This estimate is based upon our interpretation of existing site conditions and a review of the USDA, NCRS Soil Survey.

Test Location (See Location Plan)	Depth (feet) Below Existing Grade		
	Observed Water Table	Estimated Wet Season Water Table	Estimated Dry Season Water Table
P-1, PB-1	5.5' Below Grade	2.8' Below Grade	6.3' Below Grade
P-2, PB-2	3.8' Below Grade	1.3' Below Grade	4.5' Below Grade

Hydrologic Soil Group (HSG) Classification and Estimated Fillable Porosity – The HSG classification was estimated based on our interpretation of the estimated aquifer parameters at the time of our investigation and guidance provided by the USDA National Engineering Handbook. KSM has estimated the fillable porosity of the soils above the estimated wet season water table.

HSG and Estimated Fillable Porosity		
Location	HSG	Fillable Porosity
P-1	A	30%
P-2	A/D	30%

Closure:

The estimated aquifer parameters are based, in part, on our understanding of published peer reviewed resources and our interpretations and evaluations of the site investigation and laboratory test results. If additional geotechnical parameters or recommendations are desired, please contact our office. Upon request KSM will provide a scope and fee for any requested additional services.

Standard of Care - This report has been prepared in accordance with generally accepted soil and foundation engineering practices based on the results of the test borings and the assumed loading conditions. The procedural standards noted in this report are in reference to methodology in general. In some cases, variations to methods were applied because of local practice or professional judgement. No warranties, either expressed or implied, are intended or made. This report does not reflect any variations which may occur between the borings. If variations appear evident during the course of construction, it would be necessary to re-evaluate the recommendations of this project.

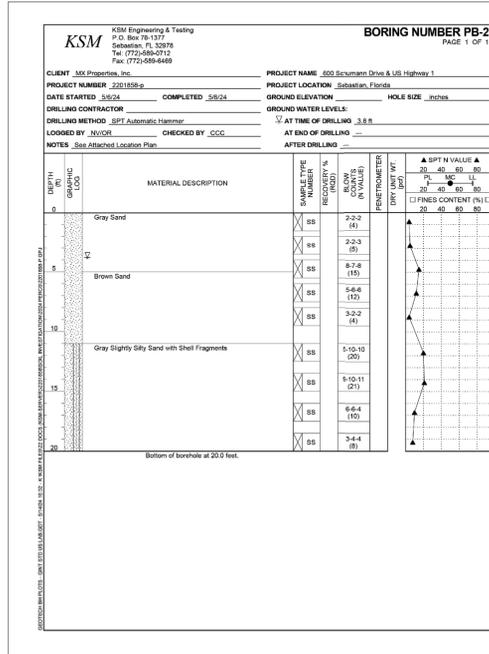
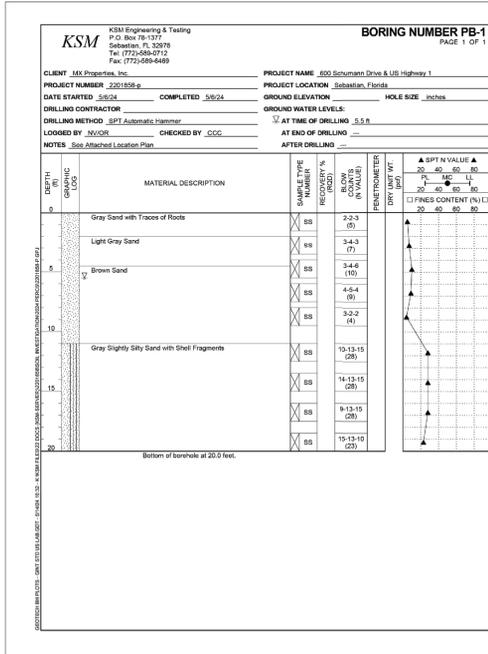
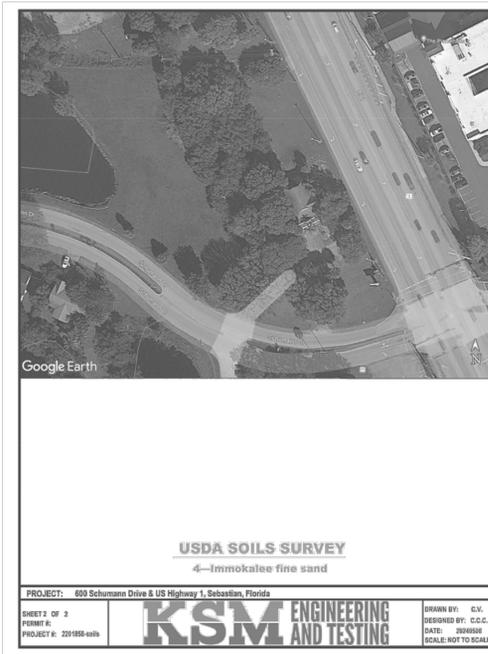
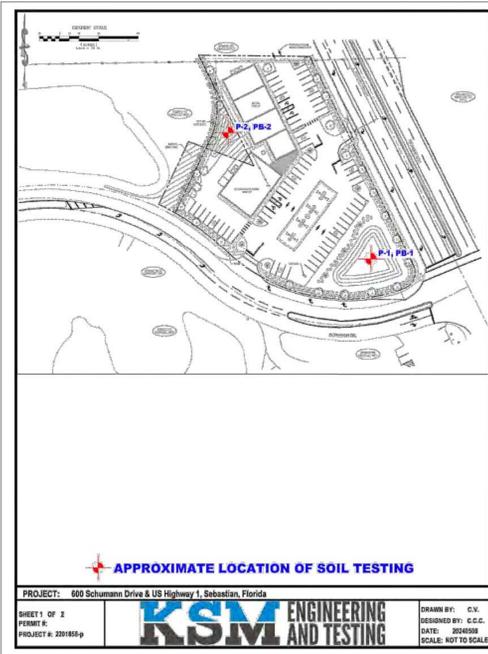
Limitations - Environmental conditions, wetland delineation, karst activity, water quality, and municipal requirements are not a part of this report.

We are pleased to have been of assistance to you in this phase of your project. When we may be of further service to you or should you have any questions, please feel free to contact the office.

Respectfully,
 Digitally signed by Cody C Clawson
 Date: 2024.05.30 11:39:43 -04'00'

Cody C. Clawson, P.E.
 Geotechnical Engineer
 Florida Lic. No. 91598

CC/Cv
 Email to: tm4615@gmail.com; jschulke@sbsengineers.com; admin1@sbsengineers.com



LAST SAVED: 7/17/2025 1:20:09 PM. SAVED BY: LULLY, DRAWING: 130222-031 MAXWELL 000 SCHUMANN DR CED PRODUCTION DRAWINGS PRELIMINARY PLAT 130222-031 C 2024 GEOTECHNICAL REPORT AND SOIL BORINGS DWG. PLOTTED DATE: 1/02/2026 9:02:43 AM. PLOTTED BY: LULLY

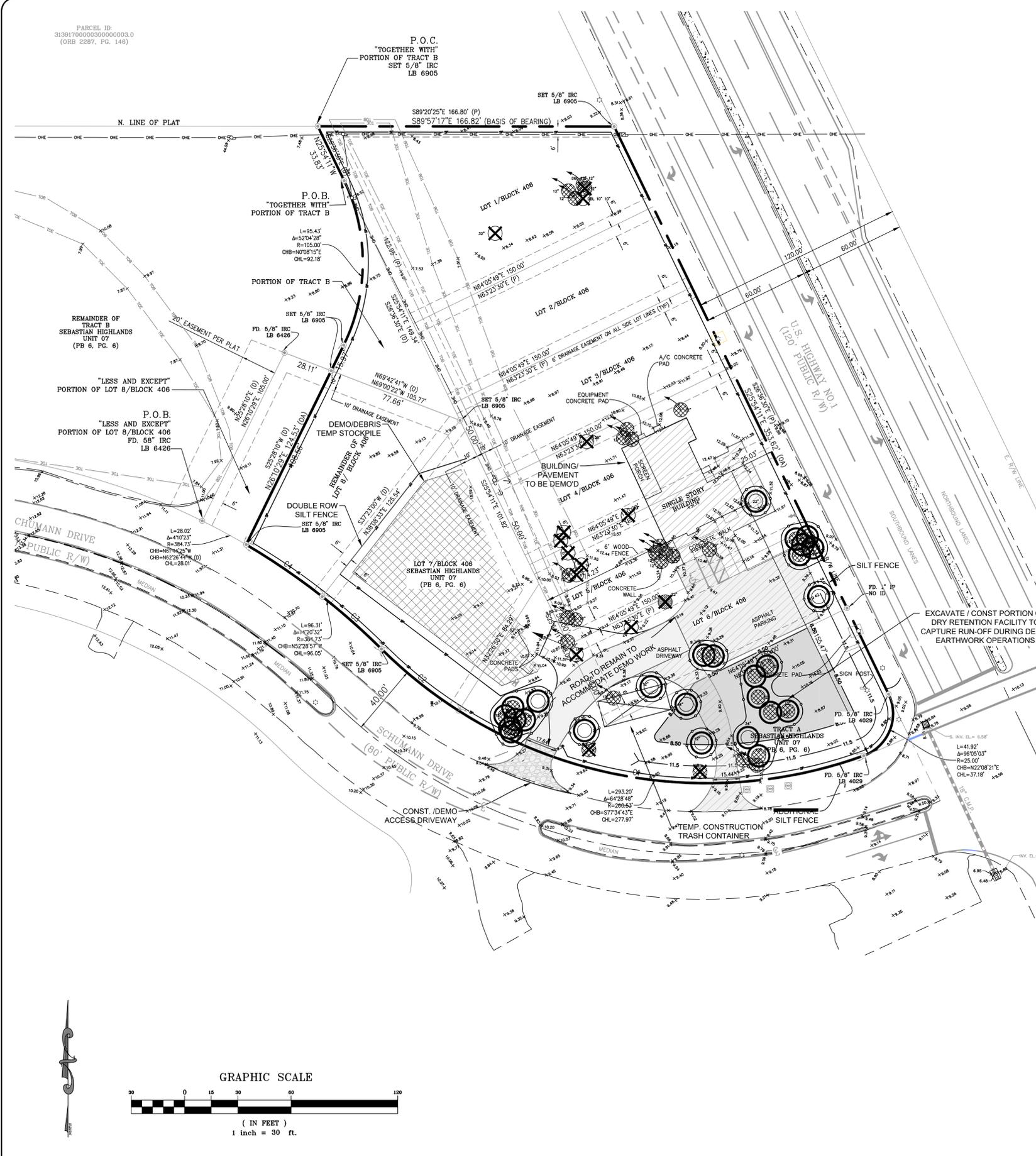
SCHULKE, BITTLE & STODDARD, L.L.C.
 CIVIL & STRUCTURAL ENGINEERING • LAND PLANNING • ENVIRONMENTAL PERMITTING
 1717 INDIAN RIVER BLVD., SUITE 201, VERO BEACH, FLORIDA 32960
 TEL 772.770.9622 FAX 772.770.9496 EMAIL info@sbsengineers.com

MAXWELL - SCHUMANN COMMERCIAL S/D SEBASTIAN, FLORIDA CITY OF SEBASTIAN

SHEET C-202
 PROJECT NO. 22-031

DATE	REVISION
01/17/25	REV. PER H1373 COMMENTS
05/16/25	REV. PER FOOT COMMENTS
06/23/25	REV. PER COMMENTS
07/10/25	REV. PER FOOT COMMENTS
07/10/25	REV. PER COMMENTS

PARCEL ID:
3139170000030000000.0
(ORB 2287, PG. 146)



EROSION CONTROL NOTES

1. SEDIMENT BASINS AND TRAPS, PERIMETER DIKES, SEDIMENT BARRIERS AND OTHER MEASURES INTENDED TO TRAP SEDIMENT SHALL BE CONSTRUCTED AS A FIRST STEP IN ANY LAND DISTURBING ACTIVITY AND SHALL BE MADE FUNCTIONAL BEFORE ANY SLOPE LAND DISTURBANCE TAKES PLACE.
2. ALL SEDIMENT CONTROL MEASURES ARE TO BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND BE CONSTRUCTED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL. ON BALANCE OF SITE, PERIMETER SEDIMENT BARRIERS SHALL BE CONSTRUCTED TO PREVENT SEDIMENT OR TRASH FROM FLOWING OR FLOATING ON TO ADJACENT PROPERTIES.
3. PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN (7) DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN (7) DAYS TO DENUDED AREAS THAT MAY NOT BE AT FINAL GRADE BUT WILL REMAIN UNDISTURBED FOR LONGER THAN 30 DAYS. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE TO BE LEFT UNDISTURBED FOR MORE THAN ONE YEAR.
4. DURING CONSTRUCTION OF THE PROJECT, SOIL STOCK PILES SHALL BE STABILIZED, COVERED OR CONTAINED WITH SEDIMENT TRAPPING MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS SOIL INTENTIONALLY TRANSPORTED FROM THE PROJECT SITE.
5. A PERMANENT VEGETATIVE COVER SHALL BE ESTABLISHED ON DENUDED AREAS NOT OTHERWISE PERMANENTLY STABILIZED.
6. AFTER ANY SIGNIFICANT RAINFALL (2" OR GREATER) SEDIMENT CONTROL STRUCTURES WILL BE INSPECTED FOR INTEGRITY. ANY DAMAGED DEVICES SHALL BE CORRECTED IMMEDIATELY.
7. CONCENTRATED RUNOFF SHALL NOT FLOW DOWN CUT OR FILL SLOPES UNLESS CONTAINED WITHIN AN ADEQUATE TEMPORARY OR PERMANENT CHANNEL, FLUME, SLOPE DRAIN STRUCTURE OR APPROVED CONTROL. SEDIMENT WILL BE PREVENTED FROM ENTERING ANY STORM WATER SYSTEM, DITCH OR CHANNEL. ALL STORM WATER INLETS THAT ARE MADE OPERATING DURING CONSTRUCTION SHALL BE PROTECTED SO THAT SEDIMENT-LADEN WATER CANNOT ENTER THE CONVEYANCE SYSTEM WITHOUT FIRST BEING FILTERED OR OTHERWISE TREATED TO REMOVE SEDIMENT.
9. WHEN WORK IN A LIVE WATERCOURSE IS PERFORMED, PRECAUTIONS SHALL BE TAKEN TO MINIMIZE ENCROACHMENT, CONTROL SEDIMENT TRANSPORT AND STABILIZE THE WORK AREA TO THE GREATEST EXTENT POSSIBLE DURING CONSTRUCTION.
10. PERIODIC INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL STRUCTURES MUST BE PROVIDED TO ENSURE INTENDED PURPOSE IS ACCOMPLISHED. THE DEVELOPER, OWNER AND CONTRACTOR SHALL BE CONTINUALLY RESPONSIBLE FOR ALL SEDIMENT CONTROLS. SEDIMENT CONTROL MEASURES SHALL BE IN WORKING CONDITION AT THE END OF EACH WORKING DAY.
11. WHERE CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED PUBLIC ROADS, PROVISIONS SHALL BE MADE TO MINIMIZE THE TRANSPORT OF SEDIMENT BY TRACKING ONTO THE PAVED SURFACE. WHERE SEDIMENT IS TRANSPORTED ONTO A PUBLIC ROAD, THE ROAD SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM THE ROADS BY SHOVELING OR SWEEPING AND TRANSPORTED TO A SEDIMENT CONTROL DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER. THIS PROVISION SHALL APPLY TO INDIVIDUAL SUBDIVISION LOTS AS WELL AS TO LARGER LAND-DISTURBING ACTIVITIES.
12. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.
13. PROPERTIES AND WATERWAYS DOWNSTREAM FROM CONSTRUCTION SITES SHALL BE PROTECTED FROM SEDIMENT DEPOSITION AND EROSION.
14. EROSION CONTROL DESIGN AND CONSTRUCTION SHALL FOLLOW THE REQUIREMENTS IN INDEX NUMBERS 101, 102 AND 103 OF F.D.O.T. ROADWAY AND TRAFFIC DESIGN STANDARDS. IN ADDITION TO THESE PLANS, THE CONTRACTOR IS RESPONSIBLE FOR ALL SURFACE WATER DISCHARGES, RAINFALL RUN-OFF OR DEWATERING ACTIVITIES.
15. CONTRACTOR MUST INCORPORATE ALL BMP'S NECESSARY TO MEET OR EXCEED STATE WATER QUALITY REQUIREMENTS.
16. POLLUTION PREVENTION PLAN IS A MINIMUM GUIDELINE ONLY. ADDITIONAL BMP'S MAY BE NECESSARY AT CONTRACTOR'S EXPENSE. NOI TO BE POSTED ON SITE.
17. NO TURBID DISCHARGE. TURBIDITY READINGS ARE REQUIRED ONCE A WEEK AND MUST BE REPORTED TO THE PROJECT ENGINEER.
18. DEWATERING ACTIVITIES:
 - A. DISCHARGE MUST NOT EXCEED STATE WATER QUALITY STANDARDS.
 - B. CONTRACTOR MUST HAVE OR OBTAIN A TRANSFERABLE SURVIVOR CONSUMPTIVE USE PERMIT KNOWN AS A "NOTICED GENERAL CONSTRUCTION SURVIVOR CONSUMPTIVE USE PERMIT" UNLESS DEWATERING ACTIVITIES WILL RESULT IN LESS THAN 300,000 GPD FOR 30 DAYS OR LESS.
 - C. NO HYDRAULIC PUMPS MAY BE USED FOR DEWATERING UNLESS APPROVED BY THE WATER MANAGEMENT DISTRICT FOR THAT AREA. DEWATERING EXISTING TRENCHES AND UNDERGROUND AREAS MAY BE EXEMPT FROM THIS CONDITION, CONTRACTOR TO CONFIRM WITH SJRWMD.
 - D. NO TURBID DISCHARGE. TURBIDITY READINGS ARE REQUIRED ONCE A WEEK AND MUST BE REPORTED TO THE PROJECT ENGINEER AND TO CITY OF SEBASTIAN.
 - E. IF DEWATERING IS NECESSARY, THE CONTRACTOR SHALL OBTAIN A CITY OF SEBASTIAN DEWATERING PERMIT.
19. ADDITIONAL DETAILS, SPECIFICATIONS AND REQUIREMENTS ON SHEET C-301.

NOTES

1. THIS PLAN (SHEETS C-300 & C-301), COPY OF FDEP NOI (STATE OF FLORIDA GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES) AND ALL REQUIRED INSPECTION REPORTS, TESTS, AND ALL OTHER DOCUMENTATION SHALL BE KEPT AT THE PROJECT SITE.
2. THE FOLLOWING CERTIFICATION SHALL BE COMPLETED BY ALL CONTRACTORS/SUB-CONTRACTORS RESPONSIBLE FOR ANY PORTION OF THE IMPLEMENTATION OF THE SWPPP CERTIFICATION:

"I CERTIFY UNDER THE PENALTY OF LAW THAT I UNDERSTAND AND SHALL COMPLY WITH, THE TERMS AND CONDITIONS OF THE STATE OF FLORIDA GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES AND THIS STORMWATER POLLUTION PREVENTION PLAN PREPARED THEREUNDER."

GENERAL NOTES

1. THE LOCATION OF EXISTING UTILITIES SHOWN ARE APPROXIMATE ONLY. THE EXACT LOCATION SHALL BE DETERMINED BY THE CONTRACTOR DURING CONSTRUCTION.
2. RELOCATION OF UTILITIES SHALL BE COORDINATED WITH UTILITY COMPANIES AFTER IDENTIFICATION OF CONFLICT BY CONTRACTOR. CONTRACTOR SHALL NOTIFY ENGINEER IN ADVANCE BEFORE ANY RELOCATION.
3. THE UTILITY COMPANIES SHALL BE NOTIFIED BY THE CONTRACTOR 48 HOURS IN ADVANCE OF ANY EXCAVATION INVOLVING THEIR UTILITIES SO THAT COMPANY REPRESENTATIVES CAN BE PRESENT.
4. PRIOR TO COMMENCEMENT OF ANY EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH FLORIDA STATUTE 553.851 FOR THE PROTECTION OF UNDERGROUND GAS PIPELINES.
5. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES TO REMAIN IN PLACE.
6. THE CONTRACTOR SHALL CALL SUNSHINE (1-800-432-4770) FOR FIELD LOCATIONS 48 HOURS BEFORE DIGGING NEAR UNDERGROUND UTILITIES.
7. KNOWN UTILITIES:
 - AT&T (772) 460-4443
 - COMCAST CABLE (772) 567-3444
 - IRCDUS (772) 226-1845
 - FPL (772) 462-0555
8. THE ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM (NAVD) OF 1988.

FLOOD ZONE

THE PARCEL OF LAND SHOWN HEREON APPEARS TO BE IN FLOOD ZONE
"X" PER FLOOD INSURANCE RATE MAP #12061C112 J, DATED 1/26/2023

PLAN PREPARATION:

1. THIS PLAN ORIGINALLY PREPARED BY THE OWNER'S ENGINEER. THIS PLAN WILL BE MADE AVAILABLE TO CONTRACTOR TO EDIT, CHANGE, MODIFY, AS IT DEEMS NECESSARY FOR COMPLIANCE WITH FDEP REGULATIONS, PERMIT CONDITIONS, AND AS REQUIRED FOR CONTRACTOR TO SIGN THE CERTIFICATION BELOW.
2. THE FOLLOWING CERTIFICATION SHALL BE SIGNED BY THE ENTITY (CONTRACTOR) RESPONSIBLE FOR SWPPP PLAN IMPLEMENTATION:

"I CERTIFY UNDER PENALTY OF LAW THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH A SYSTEM DESIGNED TO ASSURE THAT QUALIFIED PERSONNEL PROPERLY GATHERED AND EVALUATED THE INFORMATION SUBMITTED. BASED ON MY INQUIRY OF THE PERSON OR PERSONS WHO MANAGE THE SYSTEM, OR THOSE PERSONS DIRECTLY RESPONSIBLE FOR GATHERING THE INFORMATION, THE INFORMATION SUBMITTED IS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, TRUE, ACCURATE, AND COMPLETE. I AM AWARE THAT THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE INFORMATION, INCLUDING THE POSSIBILITY OF FINE AND IMPRISONMENT FOR KNOWING VIOLATIONS."

BY: _____ DATE: _____

SIGNATURE

SWPPP DESCRIPTION OF WORK/ RESPONSIBILITY	NAME TITLE	CONTRACTOR OR SUB-CONTRACTOR (NAME, ADDRESS, PHONE)	NAME/SIGNATURE TO CERTIFICATION	DATE

- BEST MANAGEMENT PRACTICES (BMP'S) AND MEASURES THAT WILL BE IMPLEMENTED AT THE CONSTRUCTION SITE AND THE FRAMES IN WHICH THE CONTROLS WILL BE IMPLEMENTED.**
- THE CONTRACTOR WILL USE SILT FENCES, TREE BARRIERS, AND OTHER BMP'S. THE TIME FRAME FOR CLEARING, EARTHWORK, AND ANTICIPATED BMP'S ARE:
1. INITIAL SILT FENCE AT PERIMETER OF SITE AND SILT BARRIERS AT DOWNSTREAM DITCHES/SWALLOWS.
 2. CLEARING AREA NECESSARY FOR TEMPORARY GRAVEL DRIVEWAY AND ADJACENT DITCH.
 3. CONSTRUCT TEMPORARY GRAVEL DRIVEWAY WITH SWALE.
 4. EXCAVATE RETENTION AREAS AND SWALES. STABILIZE AND SOO THESE AREAS. THESE AREAS WILL BE DESIGNED AS TEMPORARY BARRIERS TO CAPTURE RUN-OFF DURING CONSTRUCTION AND CAN ALSO BE USED TO HOLD WATER FROM DEWATERING ACTIVITIES. NOTE: THE AREAS WILL NEED TO BE REGRADDED PRIOR TO COMPLETION. (FACTOR THIS INTO SCOPE AND CONSTRUCTION FEE.)
 5. CLEAR BALANCE OF SITE (EXCLUDING STRUCTURES, PAVEMENT, UTILITIES AND DRAINAGE TO BE REMOVED).
 6. FILL SITE.
 7. CONTINUE SITE FILL GRADING.
 8. CONSTRUCT STORMWATER STRUCTURES AND DRAINAGE PIPING, WHERE POSSIBLE.
 9. MAINTAIN DOWNSTREAM SILT BARRIERS AND PERIMETER SILT FENCE, DURING CONSTRUCTION.
 10. INCORPORATE ADDITIONAL BMP'S WHEN NEEDED DURING THE COURSE OF CONSTRUCTION.
 - POLYWADDE/SILT FENCE/FILTER SACKS AS INLETS AND PIPES ARE INSTALLED.
 - PROVIDE STOCKPILE PROTECTION, CONCRETE STUCCO WASH AREAS, AND OTHER BMP'S WHEN NECESSARY TO CONTAIN PROPOSED WORK.

LEGEND

- TEMP. DEBRIS STOCKPILE AREA
- TEMP. DEMO ACCESS DRIVEWAY
- TO BE DEMOLISHED
- SILT FENCE
- TREE PROTECTION BARRIER

TREE LEGEND

- OAK TO REMAIN (8 TREES)
- OAK TO REMOVE (12 TREES)
- OAK TO RELOCATE (0 TREES)
- CABBAGE PALM TO REMAIN (19 TREES)
- CABBAGE PALM TO REMOVE (3 TREES)
- CABBAGE PALM TO RELOCATE (21 TREES) (15 OFF-SITE) (6 ONSITE)
- PINE TREE
- PINE TREE TO REMOVE (1 TREES)
- TREE PROTECTION BARRIER

- TEMPORARY AND PERMANENT STABILIZATION PRACTICES:**
1. TEMP. SILT FENCES/SPRINKLING TURBIDITY BARRIERS PER PLAN.
 2. FILTER FABRIC SHALL BE PLACED UNDER GRAVEL DRIVEWAY, AT ALL SWALE OUTFALLS, AND RETENTION POND OUTFALLS.
 3. PERMANENT STABILIZATION SHALL BE APPLIED TO ALL DISTURBED AREAS.
 4. INLETS/OUTLETS WILL BE PROTECTED WITH FILTER FABRIC.
 5. PERIMETER OF ALL DISTURBED AREAS SHALL BE PROTECTED WITH PERIMETER OF DISTURBED AREAS.
 6. A DOUBLE ROW OF SILT FENCE WILL BE PROVIDED AROUND ALL STOCKPILE AREAS.

PERMANENT STORMWATER MANAGEMENT CONTROLS SUCH AS DETENTION OR RETENTION SYSTEMS OR VEGETATED SWALES.

ONLY RETENTION SYSTEMS INCORPORATED AS PERMANENT BMP FOR WATER QUALITY CONTROL.

DESCRIBE IN DETAIL CONTROLS FOR THE FOLLOWING POTENTIAL POLLUTANTS:

ON SITE WASTE SHALL BE CONTAINERIZED.
- CONCRETE STUCCO WASH AREA SHALL BE PROVIDED.
- DETENTION SYSTEMS SHALL BE PROVIDED AND STABILIZED/SEEDING IF LEFT UNMAINTAINED FOR MORE THAN 7 DAYS.

OFF-SITE VEHICLE TRACKING:

PROVIDE HARD SURFACE AT TEMP. DRIVEWAY (ROCK/GRAVEL DRIVEWAY).
- MAINTAINANCE OF HARD SURFACE SHALL BE PERFORMED DURING STREET SWEEPING, & RUT REPAIR IN NON-PAVED AREAS.

APPLICATION RATES OF ALL FERTILIZERS, HERBICIDES AND PESTICIDES:

NONE PROPOSED.

STORAGE, APPLICATION, GENERATION AND MIGRATION OF ALL TOXIC SUBSTANCES:

NONE PROPOSED.

DESCRIPTION OF THE MAINTENANCE PLAN FOR ALL STRUCTURAL AND NON-STRUCTURAL CONTROLS:

CONTRACTOR SHALL HAVE SWPPP COMPONENTS INSPECTED BY A FREP CERTIFIED INSPECTOR AND MAINTAIN ALL CONTROLS DAILY, AND HAVE WEEKLY SWPPP INSPECTION REPORTS PREPARED, AND WITHIN 24 HOURS OF THE END OF ANY RAINFALL EVENT THAT IS 2" OR GREATER. ENGINEER SHALL INSPECT PERIODICALLY.

A SITE PLAN MUST BE DEVELOPED AND MUST CONTAIN, AT A MINIMUM, THE FOLLOWING INFORMATION:

1. DRAINAGE PATTERNS. SEE SURVEY, EXISTING CONDITIONS PLAN AND DRAINAGE PLAN SHEETS C-200, C-300, C-301 TO C-303.
2. APPROXIMATE SLOPES AFTER MAJOR GRADING ACTIVITIES - SEE SHEETS C-200 THROUGH C-303.
3. AREAS OF SOIL DISTURBANCE - SEE SHEETS C-200, C-300 AND THIS SHEET.
4. OUTLINE ALL AREAS THAT ARE NOT TO BE DISTURBED. THIS SHEET.
5. LOCATION OF EXPECTED STABILIZATION PRACTICES - THIS SHEET.
6. LOCATIONS WHERE STORMWATER MAY DISCHARGE TO A SURFACE WATER OR MS4. SEE SHEET C-300 AND THIS SHEET.

DESCRIBE THE NATURE OF THE CONSTRUCTION ACTIVITY:

LAND CLEARING, FILLING AND CONSTRUCT INFRASTRUCTURE/BUILDINGS FOR A COMMERCIAL DEVELOPMENT.

DESCRIBE THE INTENDED SEQUENCE OF MAJOR SOIL DISTURBING ACTIVITIES:

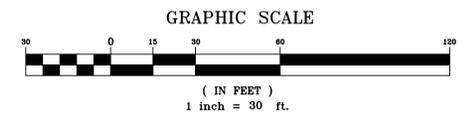
1. SITE PREPARATION AND STABILIZE CONSTRUCTION ENTRANCE.
2. INITIAL SILT FENCE AROUND PERIMETER OF SITE. INSTALL TURBIDITY BARRIERS AT ALL OUTFALL LOCATIONS. CLEAR LAND.
3. DEMOLISH EXISTING.
4. RELOCATE TREES. PROVIDE TREE PROTECTION BARRIERS.
5. CLEAR LAND, DEMO BUILDINGS, PAVEMENT AND UNDERGROUND INFRASTRUCTURE.
6. FILL DITCHES.
7. GRADE SWALES AND RETENTION AREAS.

TOTAL AREA OF THE SITE: 1.964 ACRES
TOTAL AREA OF THE SITE TO BE DISTURBED THIS PHASE: 1.964 ACRES

EXISTING DATA DESCRIBING THE SOIL OR QUALITY OF ANY STORMWATER DISCHARGE:
SEE SOIL BORINGS BY OTHERS. NO DISCHARGE FROM DISTURBED AREAS IS ANTICIPATED.

DRAINAGE AREA SIZE FOR EACH DISCHARGE POINT: 1.964 ACRES - SEE CORNER OF SITE.

LATITUDE AND LONGITUDE OF EACH DISCHARGE POINT RECEIVING WATER OR MS4 FOR EACH DISCHARGE POINT: NA



SCHULKE, BITTLE & STODDARD, L.L.C.
CIVIL & STRUCTURAL ENGINEERING - LAND PLANNING - ENVIRONMENTAL PERMITTING
1717 INDIAN RIVER BLVD., SUITE 201 VERO BEACH, FLORIDA 32960
TEL 772 / 770-9622 FAX 772 / 770-9496 EMAIL info@sbsengineers.com

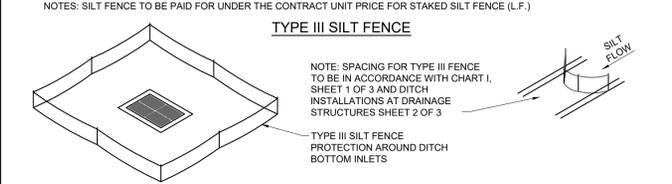
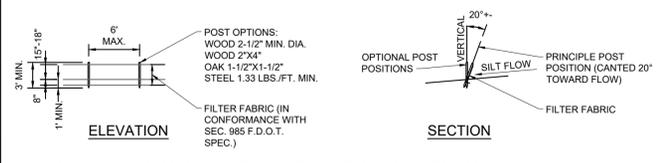
MAXWELL - SCHUMANN COMMERCIAL S/D SEBASTIAN, FLORIDA CITY OF SEBASTIAN

STORMWATER POLLUTION PREVENTION PLAN

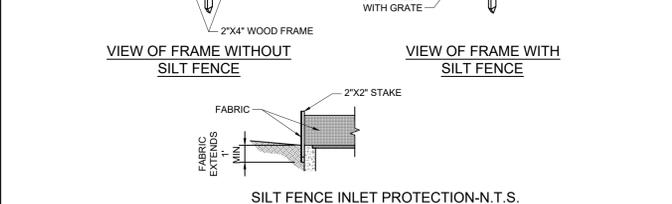
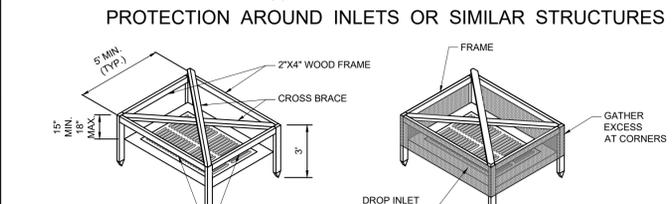
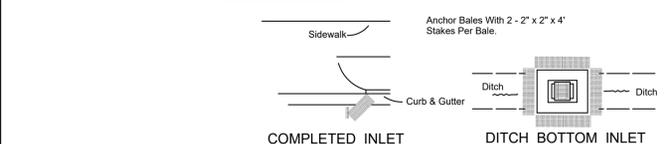
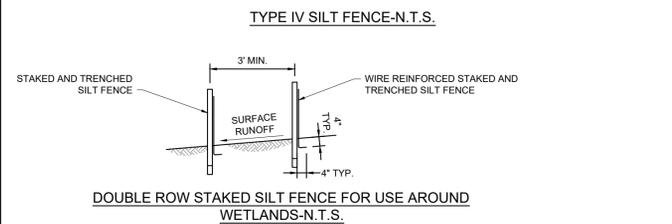
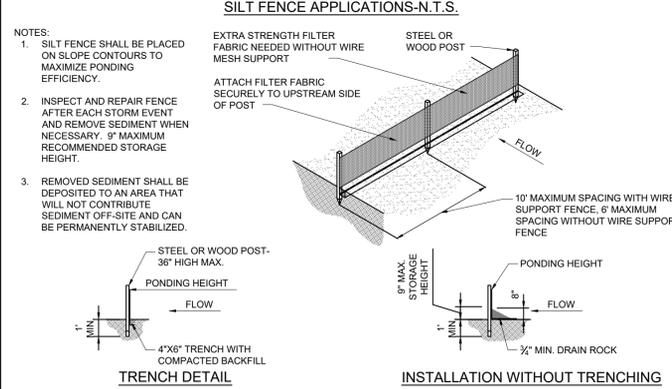
ENGINEER CERTIFICATION
 JOSEPH W. SCHULKE FL. REG. NO. 47048
 ADAM B. BITTLE FL. REG. NO. 57396
 WILLIAM P. STODDARD FL. REG. NO. 57605
 Drawn by: _____
 Date: _____

Signed by: _____
 Date: 2/25/2026

SHEET
C-300
 PROJECT NO. 22-031

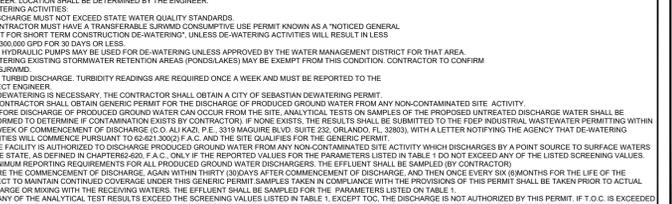
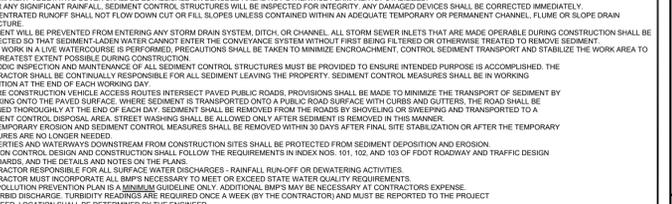
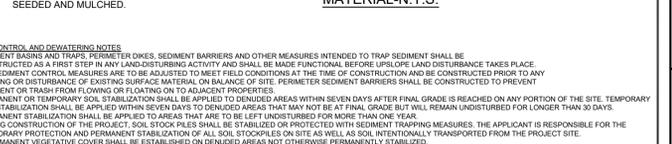
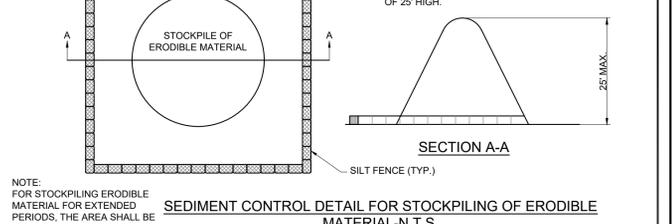
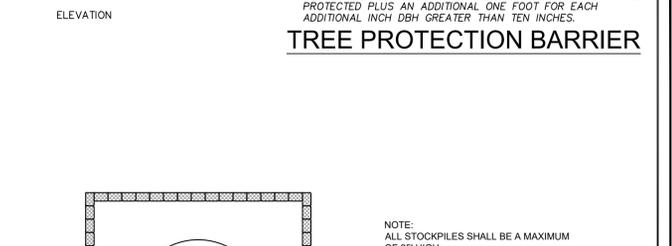
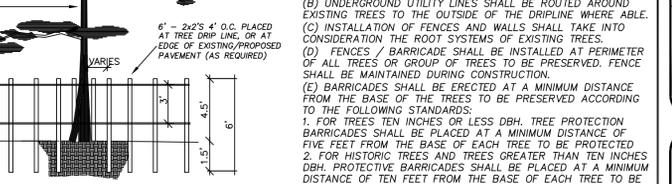
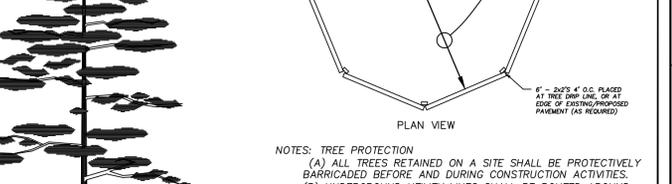
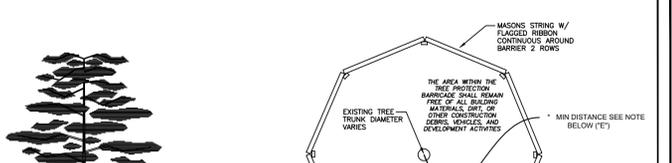
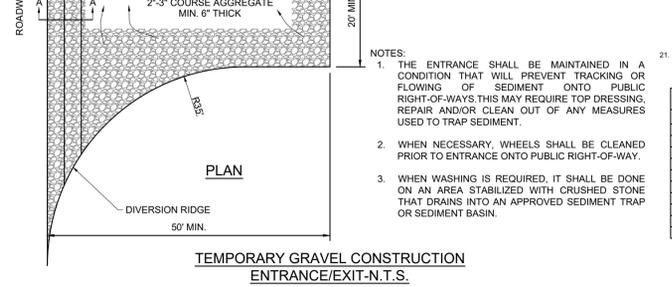
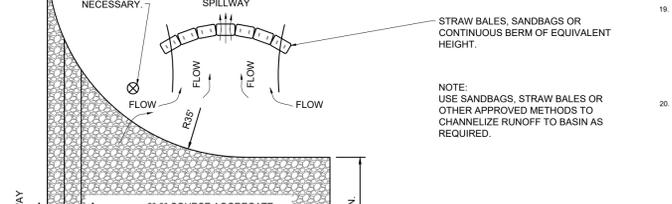
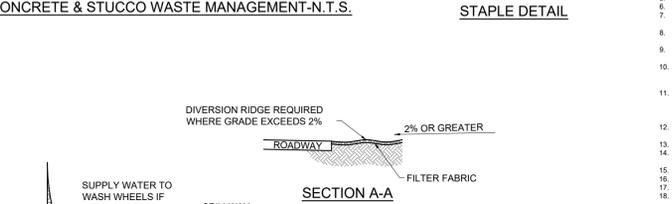
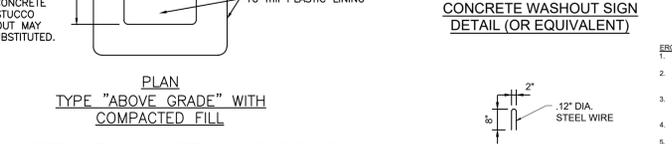
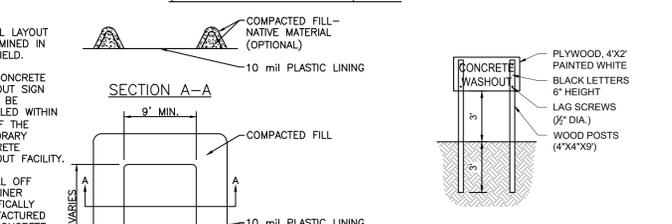
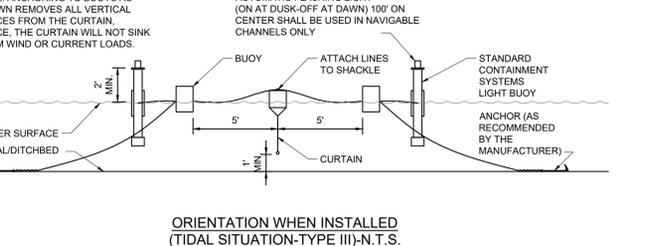
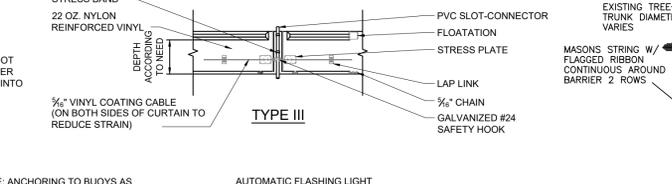
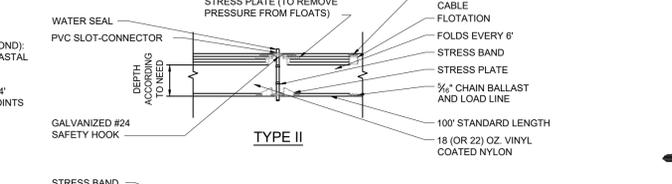
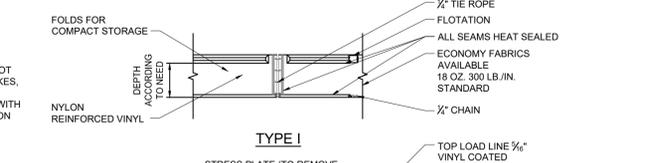
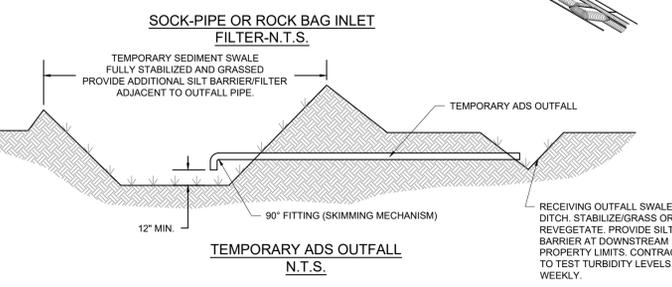
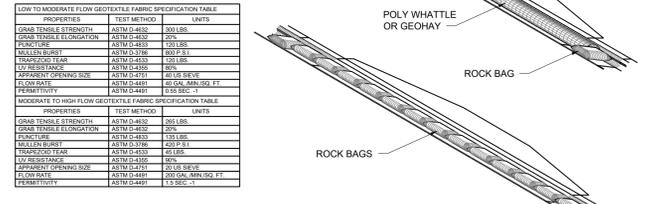
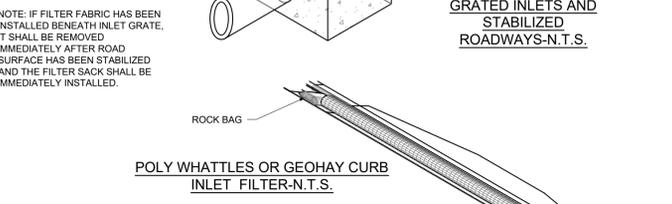
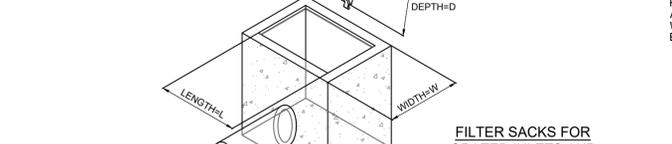
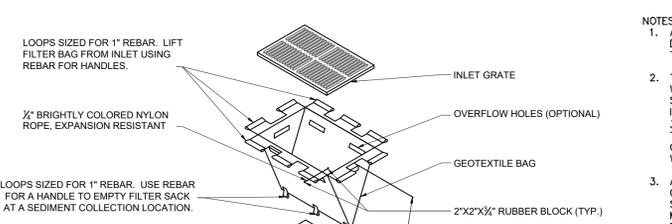
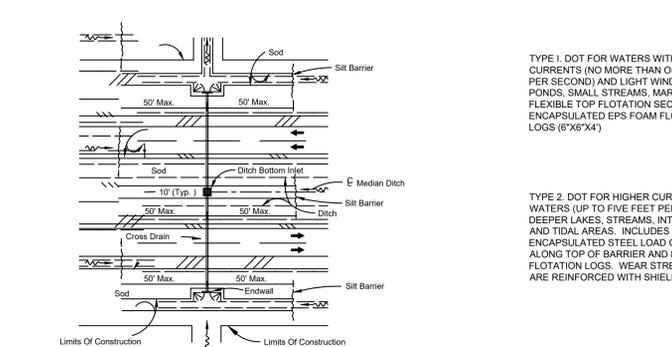


DO NOT DEPLOY IN A MANNER THAT SILT FENCES WILL ACT AS A DAM ACROSS PERMANENT FLOWING WATERCOURSES. SILT FENCES ARE TO BE USED AT UPLAND LOCATIONS AND TURBIDITY BARRIERS USED AT PERMANENT BODIES OF WATER.



EROSION CONTROL DETAILS

NOTES:
 a. "WETLAND PROTECTION PLAN"
 a. SILT FENCE MUST BE INSTALLED BY HAND ALONG SURVEYED CONSERVATION EASEMENT BOUNDARIES (AT TOE OF SLOPE-SEE SECTIONS E.E.N.O) PRIOR TO CONSTRUCTION.
 b. NO TURBID DISCHARGE TO WETLANDS IS PERMITTED.
 c. ALL STOCKPILE AND/OR CONSTRUCTION STAGING AREAS MUST BE LOCATED 100 FT. FROM WETLANDS.



Parameter	SCREENING VALUES FOR DISCHARGE INTO:	
	Fresh Waters	Coastal Waters
Total Organic Carbon (TOC)	10.0 mg/L	10.0 mg/L
pH (standard units)	6.5 to 8.5	6.5 to 8.5
Total Recoverable Mercury	0.012 µg/L	0.025 µg/L
Total Recoverable Cadmium	0.3 µg/L	0.3 µg/L
Total Recoverable Copper	2.0 µg/L	2.0 µg/L
Total Recoverable Lead	0.3 µg/L	0.3 µg/L
Total Recoverable Zinc	26.0 µg/L	26.0 µg/L
Total Recoverable Chromium (Hex.)	11.0 µg/L	50.0 µg/L
Boron	1.0 µg/L	1.0 µg/L
Napthalene	100.0 µg/L	100.0 µg/L

MARK	REVISION	DATE
1	REV PER FOOT CODE COMMENTS	01/17/25
2	REV PER FOOT CODE COMMENTS	06/25/25
3	REV PER FOOT CODE COMMENTS	06/25/25
4	REV PER FOOT CODE COMMENTS	07/10/25
5	REV PER FOOT CODE COMMENTS	07/10/25

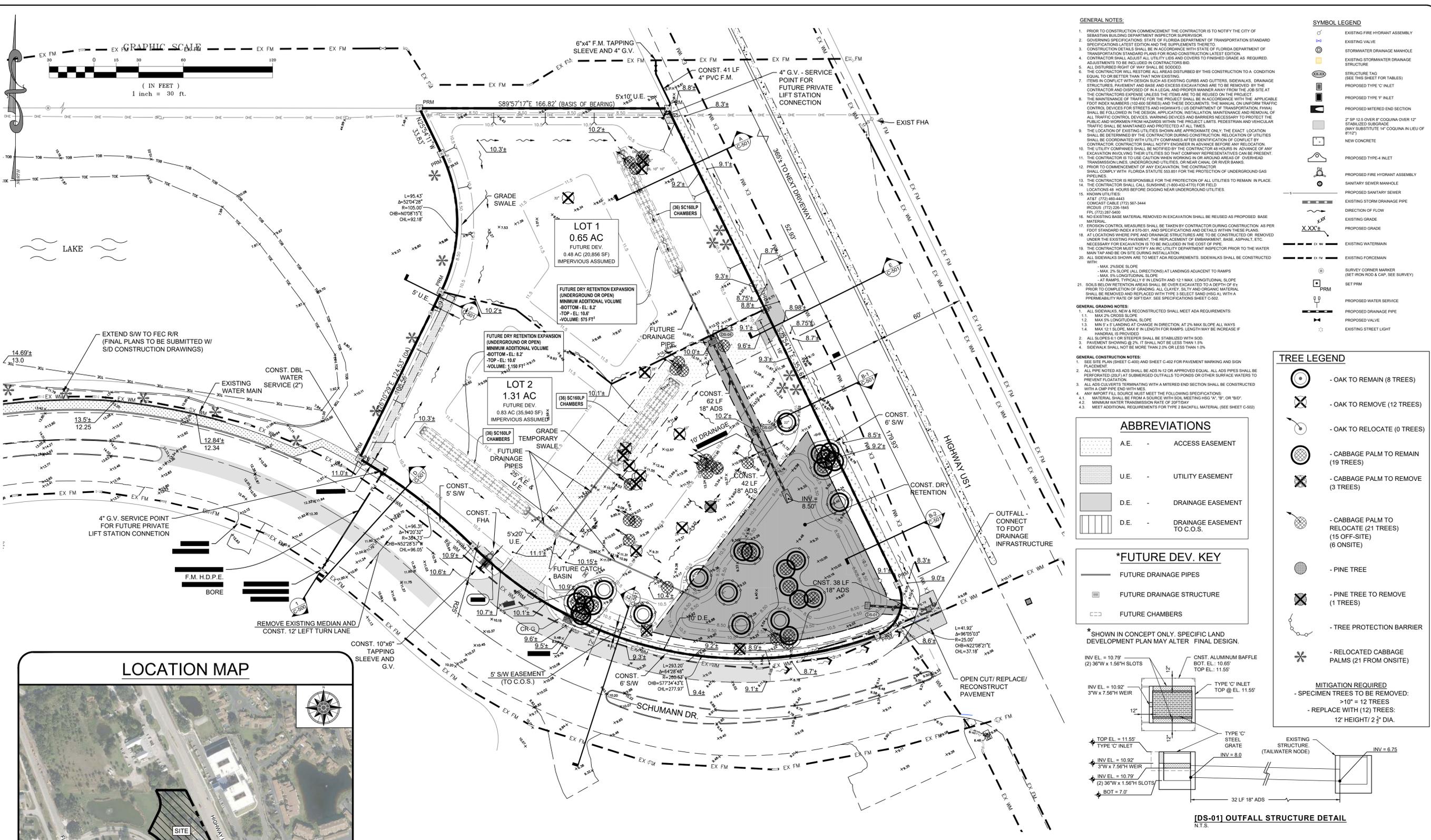
SCHULKE, BITTLE & STODDARD, L.L.C.
 CIVIL & STRUCTURAL ENGINEERING - LAND PLANNING - ENVIRONMENTAL PERMITTING
 1717 INDIAN RIVER BLVD., SUITE 201 VERO BEACH, FLORIDA 32960
 TEL: 772.770.9622 FAX: 772.770.9496 EMAIL: info@bsengr.com

STORMWATER POLLUTION PREVENTION PLAN DETAILS

MAXWELL - SCHUMANN COMMERCIAL S/D SEBASTIAN, FLORIDA CITY OF SEBASTIAN

ENGINEER CERTIFICATION
 JOSEPH W. SCHULKE
 P.E. REG. NO. 47948
 JOHN R. BITTLE
 P.E. REG. NO. 57366
 WILLIAM P. STODDARD
 P.E. REG. NO. 57605
 Joseph W. Schulke
 DATE: 10/20/2024
 SHEET
C-301
 PROJECT NO.
 22-031

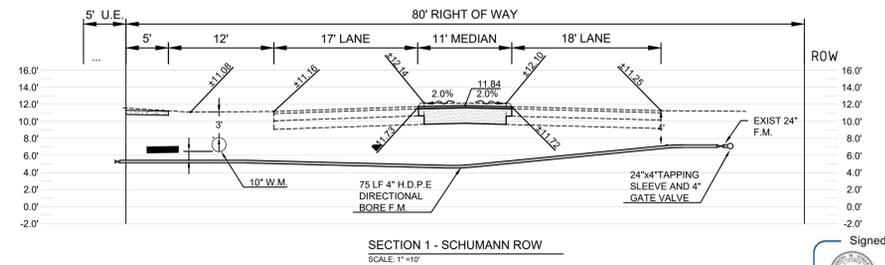
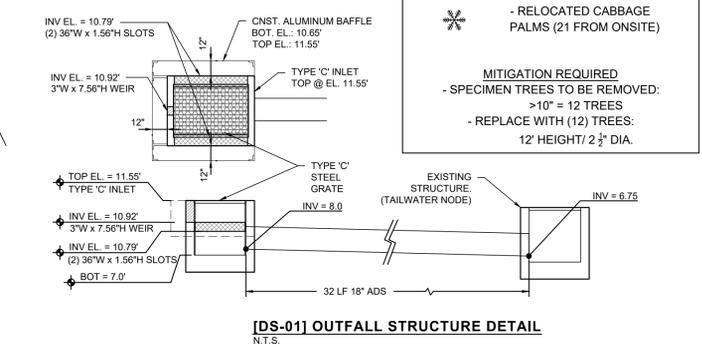
2/25/2026
 22-031



- GENERAL NOTES:**
- PRIOR TO CONSTRUCTION COMMENCEMENT THE CONTRACTOR IS TO NOTIFY THE CITY OF SEBASTIAN BUILDING DEPARTMENT INSPECTOR SUPERVISOR.
 - GOVERNING SPECIFICATIONS: STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS LATEST EDITION AND THE SUPPLEMENTS THERE TO.
 - CONTRACTOR SHALL ADJUST ALL UTILITY LINES AND COVERS TO FINISHED GRADE AS REQUIRED. ADJUSTMENTS TO BE INCLUDED IN CONTRACTOR'S BID.
 - ALL DISTURBED RIGHT OF WAY SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION.
 - THE CONTRACTOR WILL RESTORE ALL AREAS DISTURBED BY THIS CONSTRUCTION TO A CONDITION EQUAL TO OR BETTER THAN THAT NOW EXISTING.
 - ITEMS IN CONFLICT WITH GENERAL NOTES SUCH AS EXISTING CURBS AND GUTTERS, SIDEWALKS, DRAINAGE STRUCTURES, PAVEMENT AND BASE AND EXCESS EXCAVATIONS ARE TO BE REMOVED BY THE CONTRACTOR AND DISPOSED OF IN A LEGAL AND PROPER MANNER AWAY FROM THE JOB SITE AT THE CONTRACTOR'S EXPENSE UNLESS THE ITEMS ARE TO BE REUSED ON THE PROJECT.
 - THE MAINTENANCE OF TRAFFIC FOR THE PROJECT SHALL BE IN ACCORDANCE WITH THE APPLICABLE FOOT INDEX NUMBERS (102-600 SERIES) AND THESE DOCUMENTS: THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS (USE DATE OF EDITION) AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR HIGHWAYS (USE DATE OF EDITION). THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS (USE DATE OF EDITION) SHALL BE FOLLOWED IN THE DESIGN, APPLICATION, INSTALLATION, MAINTENANCE AND REMOVAL OF ALL TRAFFIC CONTROL DEVICES MAINTAINED AND PROTECTED AT ALL TIMES.
 - THE LOCATION OF EXISTING UTILITIES SHOWN ARE APPROXIMATE ONLY. THE EXACT LOCATION SHALL BE DETERMINED BY THE CONTRACTOR DURING CONSTRUCTION. RELOCATION OF UTILITIES SHALL BE COORDINATED WITH UTILITY COMPANIES AFTER OBTAINING WRITTEN CONSENT BY CONTRACTOR. CONTRACTOR SHALL NOTIFY ENGINEER IN ADVANCE BEFORE ANY RELOCATION.
 - THE UTILITY COMPANIES SHALL BE NOTIFIED BY THE CONTRACTOR 48 HOURS IN ADVANCE OF ANY EXCAVATION INVOLVING THEIR UTILITIES SO THAT COMPANY REPRESENTATIVES CAN BE PRESENT.
 - THE CONTRACTOR IS TO USE CAUTION WHEN WORKING IN OR AROUND AREAS OF OVERHEAD TRANSMISSION LINES, UNDERGROUND UTILITIES, OR NEAR CANAL OR RIVER BANKS.
 - PRIOR TO COMMENCEMENT OF ANY EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH FLORIDA STATUTE 553.851 FOR THE PROTECTION OF UNDERGROUND GAS PIPELINES.
 - THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES TO REMAIN IN PLACE.
 - THE CONTRACTOR SHALL CALL SUNSHINE (1-800-421-4770) FOR FIELD LOCATIONS 48 HOURS BEFORE DIGGING NEAR UNDERGROUND UTILITIES.
 - KNOWN UTILITIES:
 - A.T.E. (772) 443-4443
 - COMCAST CABLE (772) 567-3444
 - FLORIDA POWER & LIGHT (772) 225-1945
 - FPL (772) 287-5400
 - PROGRESS (772) 225-1945
 - NO EXISTING BASE MATERIAL REMOVED IN EXCAVATION SHALL BE REUSED AS PROPOSED BASE MATERIAL.
 - EROSION CONTROL MEASURES SHALL BE TAKEN BY CONTRACTOR DURING CONSTRUCTION AS PER FOOT STANDARD INDEX # 570.01, AND SPECIFICATIONS AND DETAILS WITHIN THESE PLANS.
 - AT LOCATIONS WHERE PIPES AND DRAINAGE STRUCTURES ARE TO BE CONSTRUCTED OR REMOVED UNDER THE EXISTING PAVEMENT, THE REPLACEMENT OF EMBANKMENT, BASE, ASPHALT, ETC. NECESSARY FOR EXCAVATION IS TO BE INCLUDED IN THE BIDDING PRICE OF THE PIPE.
 - THE CONTRACTOR MUST NOTIFY AN IRC UTILITY DEPARTMENT INSPECTOR PRIOR TO THE WATER MAIN TAP AND BE ON SITE DURING INSTALLATION.
 - ALL SIDEWALKS SHOWN ARE TO MEET ADA REQUIREMENTS. SIDEWALKS SHALL BE CONSTRUCTED WITH:
 - MAX 2% SIDE SLOPE
 - MAX 2% SLOPE (ALL DIRECTIONS) AT LANDINGS ADJACENT TO RAMPS
 - AT RAMPS, TYPICALLY 6" IN LENGTH AND 12" MAX. LONGITUDINAL SLOPE
 - 2" MIN. SLOPE RETENTION AREA
 - PRIOR TO COMPLETION OF GRADING ALL CLAYEY, SILTY AND ORGANIC MATERIAL SHALL BE REMOVED AND REPLACED WITH TYPE 3 SELECT GRANULAR FILL WITH A PERMEABILITY RATE OF 50% TYP. SEE SPECIFICATIONS SHEET C-502.
- GENERAL GRADING NOTES:**
- ALL SIDEWALKS, NEW AND RECONSTRUCTED SHALL MEET ADA REQUIREMENTS.
 - MAX 2% CROSS SLOPE
 - MAX 5% LONGITUDINAL SLOPE
 - MIN 1/2" LANDING AT CHANGE IN DIRECTION AT 2% MAX SLOPE ALLWAYS
 - MAX 12" SLOPE, MAX 6" IN LENGTH FOR RAMPS. LENGTH MAY BE INCREASE IF HORIZONTAL IS PROVIDED
 - ALL SLOPES 6" OR STEEPER SHALL BE STABILIZED WITH SO2
 - PAVEMENT SHOWING 2% IT SHALL NOT BE LESS THAN 1/2"
 - SIDEWALK SHALL NOT BE MORE THAN 2% OR LESS THAN 1/2"
- GENERAL CONSTRUCTION NOTES:**
- SEE SITE PLAN (SHEET C-400) AND SHEET C-405 FOR PAVEMENT MARKING AND SIGN PLACEMENT.
 - ALL PIPE NOTED AS ADS SHALL BE ADS N-12 OR APPROVED EQUAL. ALL ADS PIPES SHALL BE PERFORATED ONLY AT SUPERSEDING OUTFALLS TO PROMOTE OTHER SURFACE WATERS TO PREVENT FLOATATION.
 - ALL ADS VALVES TERMINATING WITH A MITERED END SECTION SHALL BE CONSTRUCTED WITH A CMP PIPE END WITH MES.
 - ANY IMPROVED FILL SOURCE MUST MEET THE FOLLOWING SPECIFICATIONS:
 - MATERIAL SHALL BE FROM A SOURCE WITH SOL. MEETING HSG "A", "B", OR "BC".
 - MINIMUM WATER RETENTION SHALL BE 20%.
 - MEET ADDITIONAL REQUIREMENTS FOR TYPE 2 BACKFILL MATERIAL (SEE SHEET C-502)

- SYMBOL LEGEND**
- EXISTING FIRE HYDRANT ASSEMBLY
 - EXISTING VALVE
 - STORMWATER DRAINAGE MANHOLE STRUCTURE
 - EXISTING STORMWATER DRAINAGE STRUCTURE
 - STRUCTURE TAG (SEE THIS SHEET FOR TABLES)
 - PROPOSED TYPE 'C' INLET
 - PROPOSED TYPE 'F' INLET
 - PROPOSED MITERED END SECTION
 - 2" SP 12.5 OVER 8" COQUINA OVER 12" STABILIZED SUBGRADE (MAY SUBSTITUTE 14" COQUINA IN LIEU OF #12)
 - NEW CONCRETE
 - PROPOSED TYPE-4 INLET
 - PROPOSED FIRE HYDRANT ASSEMBLY
 - SANITARY SEWER MANHOLE
 - PROPOSED SANITARY SEWER
 - EXISTING STORM DRAINAGE PIPE
 - EXISTING GRADE
 - PROPOSED GRADE
 - EXISTING WATERMAIN
 - EXISTING FORECAME
 - SURVEY CORNER MARKER (SET FROM R/O & CAP; SEE SURVEY)
 - SET PRM
 - PROPOSED WATER SERVICE
 - PROPOSED DRAINAGE PIPE
 - PROPOSED VALVE
 - EXISTING STREET LIGHT
- TREE LEGEND**
- OAK TO REMAIN (8 TREES)
 - OAK TO REMOVE (12 TREES)
 - OAK TO RELOCATE (0 TREES)
 - CABBAGE PALM TO REMAIN (19 TREES)
 - CABBAGE PALM TO REMOVE (3 TREES)
 - CABBAGE PALM TO RELOCATE (21 TREES) (15 OFF-SITE) (6 ON-SITE)
 - PINE TREE
 - PINE TREE TO REMOVE (1 TREES)
 - TREE PROTECTION BARRIER
 - RELOCATED CABBAGE PALMS (21 FROM ON-SITE)
- MITIGATION REQUIRED**
- SPECIMEN TREES TO BE REMOVED: >10" = 12 TREES
 - REPLACE WITH (12) TREES: 12" HEIGHT/ 2 1/2" DIA.

- ABBREVIATIONS**
- A.E. - ACCESS EASEMENT
 - U.E. - UTILITY EASEMENT
 - D.E. - DRAINAGE EASEMENT
 - D.E. - DRAINAGE EASEMENT TO C.O.S.
- *FUTURE DEV. KEY**
- FUTURE DRAINAGE PIPES
 - FUTURE DRAINAGE STRUCTURE
 - FUTURE CHAMBERS
- * SHOWN IN CONCEPT ONLY. SPECIFIC LAND DEVELOPMENT PLAN MAY ALTER FINAL DESIGN.**



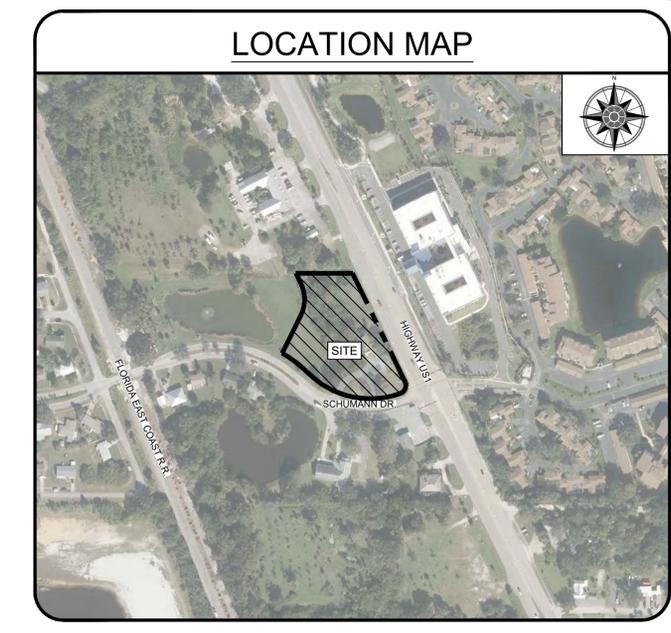
DRAINAGE STRUCTURE SCHEDULE

STRUCTURE NUMBER	DESCRIPTION	TOP ELEV.	N INV. ELEV.	S INV. ELEV.	E INV. ELEV.	W INV. ELEV.	MISCELLANEOUS
DS-01	TYPE C	11.55	-	8.00	-	-	OUTFALL STRUCTURE SEE DETAIL, SHEET C-500.
DS-02	MANHOLE	10.90	-	-	6.90	6.90	
DS-03	TYPE - 4	9.20 (EOP)	-	-	-	7.00	
DS-04	TYPE F	11.20	8.90	-	-	-	NOTCH - 12" W X 12" AT WEST SIDE
DS-05	TYPE F	11.20	8.70	-	-	-	NOTCH - 12" W X 12" AT WEST SIDE

PAVING SCHEDULE

WIDENING
- 1.25" FC-9.5
- 1.75" TYPE SP-12.5
- 16" MIN. COQUINA (LBR 100)

NOTE: PROP. BASE MUST EXTEND AT LEAST 2" DEEPER THAN EXISTING BASE, AND MUST BE INSTALLED IN A MIN. OF 3 LIFTS.
* OPTIONAL 10" COQUINA (LBR 100) AND 12" TYPE 1B STABILIZATION OR 16" COQUINA (LBR 100)



SCHULKE, BITTLE & STODDARD, L.L.C.
CIVIL & STRUCTURAL ENGINEERING - LAND PLANNING - ENVIRONMENTAL PERMITTING
CERTIFICATION NO. OF AUTHORIZATION NO.: 0008668
1717 INDIAN RIVER BLVD., SUITE 201 VERO BEACH, FLORIDA 32960
TEL 772/770-9622 FAX 772/770-9496 EMAIL info@sbseengineers.com

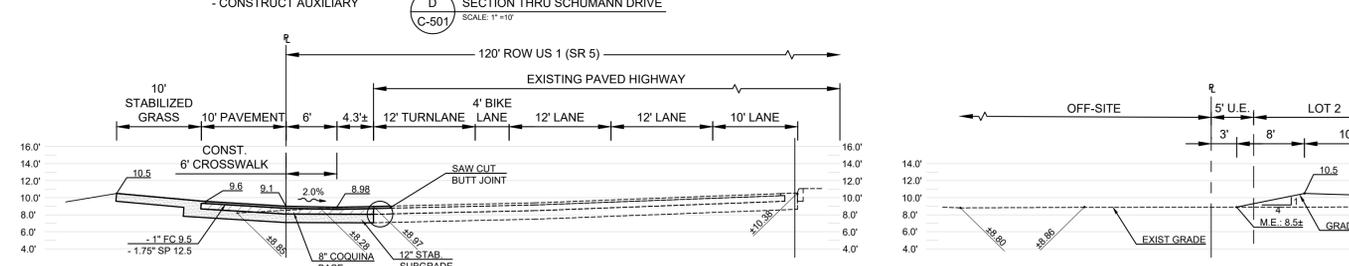
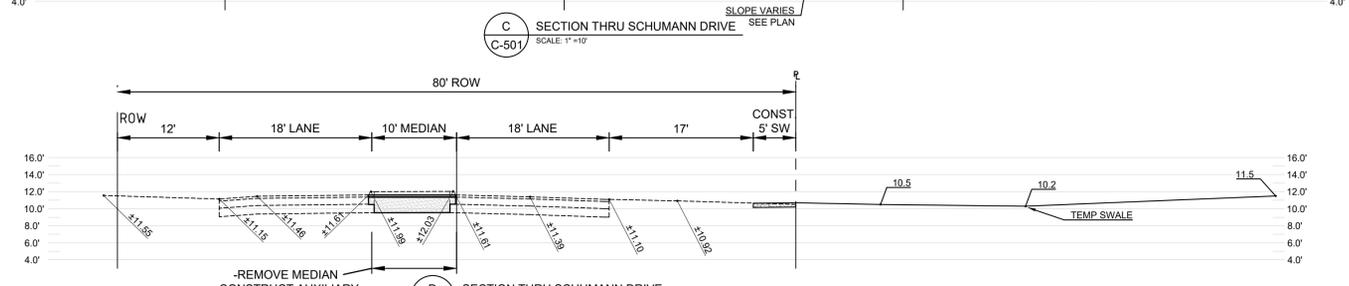
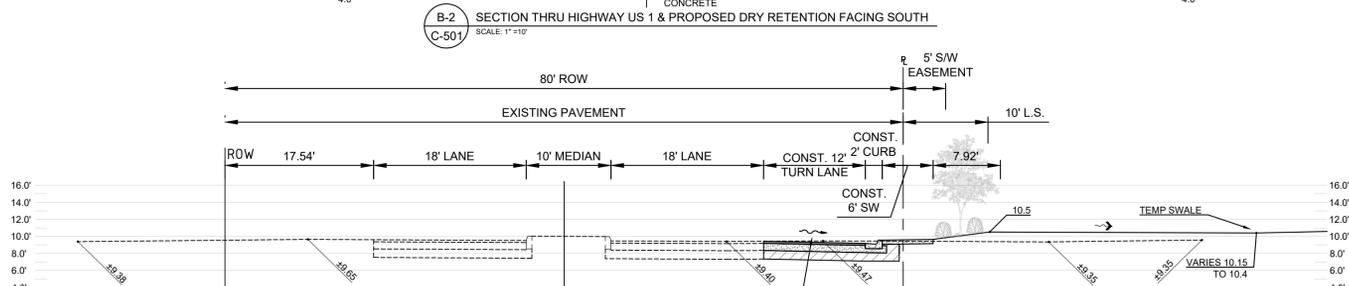
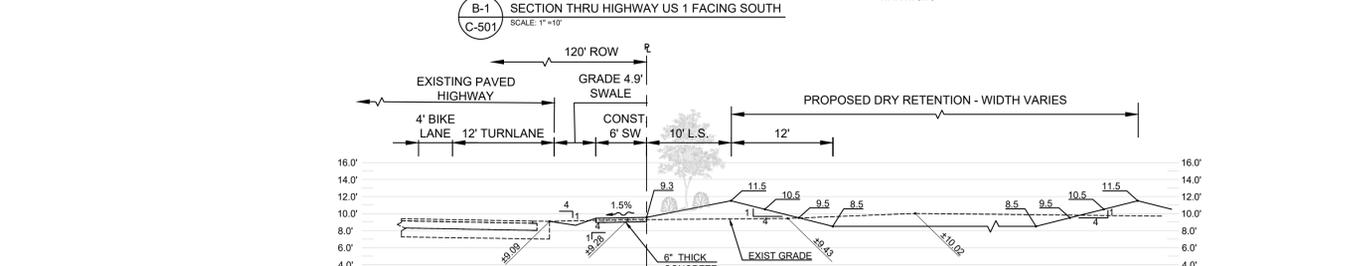
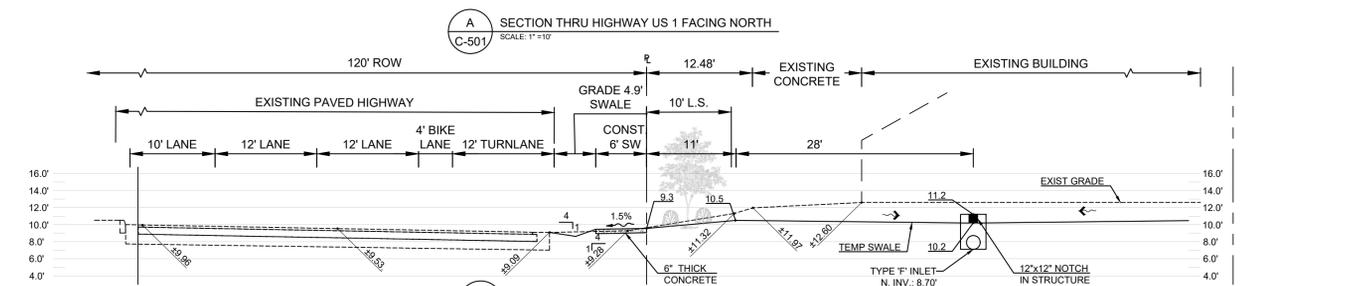
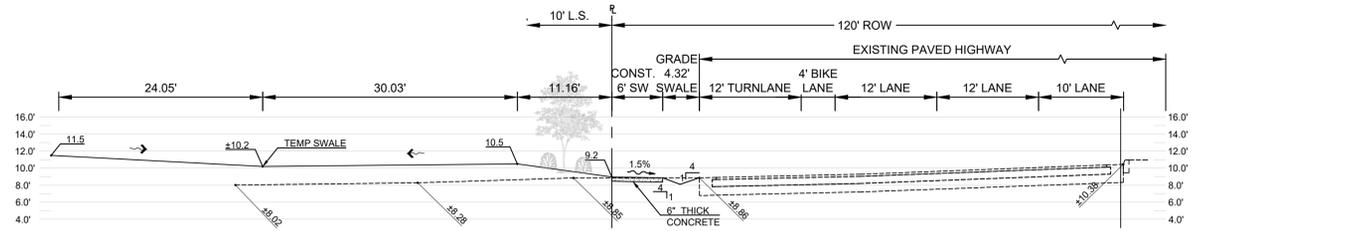
MAXWELL - SCHUMANN COMMERCIAL S/D SEBASTIAN, FLORIDA CITY OF SEBASTIAN

PAVING, GRADING & UTILITY PLAN

DESIGNED BY: Joseph Schulke
CHECKED BY: [Signature]
DATE: 04/12/2023

SHEET **C-500**
PROJECT NO. 22-031

2/25/2026



DESCRIPTION OF MAINTENANCE ACTIVITIES AND SCHEDULE OF MAINTENANCE - STORMWATER MANAGEMENT SYSTEM

General Maintenance Information

Preventative Maintenance includes functional maintenance procedures that are required to maintain the Stormwater Management System's intended operation and safe condition by preventing the occurrence of problems and malfunctions. Preventative maintenance will be performed in accordance with the direction presented in this manual. Typical routine procedures include good landscaping and nutrient management practices, regular mowing, debris management, and regular inspections of the stormwater management system to identify potential problems early.

Corrective maintenance includes the functional maintenance procedures that are required to correct a problem or malfunction at a Stormwater Management Facility and to restore the facility's intended operation and safe condition. Based on the severity of the problem, corrective maintenance must be performed on an as needed or emergency basis. By its nature, corrective maintenance is much more difficult to schedule and budget for and, ultimately, is generally more difficult and expensive to perform than preventative maintenance. Good preventative maintenance will reduce the costs associated with corrective maintenance by identifying and addressing issues early.

Routine (Preventative) Maintenance Plan

- a. Routine mowing of the dry retention basins and swales should be conducted monthly. Inspect the dry retention basins and swales for signs of erosion. Check for erosion on the side slopes of the dry retention basins, within swales, and around pipe outfalls. Document any observed erosion issues and implement corrective actions for any erosion issues.
- b. Existing (to remain) or proposed landscaping and vegetation within retention areas and swales should be visually inspected and pruned, trimmed and any dead vegetation (limbs, palm fronds) removed, and all exotics removed every 3 months.
- c. At least monthly, inspect and document any damages (cracking, subsidence, or deterioration) to the structural integrity of the structures or pipes. Monitor minor damage such as dents, rust, or minor cracks for indicators of when repair or replacement is required.
- d. At least monthly, review and inspect landscaping practices to ensure minimal amounts of debris and grass clippings are being introduced into the stormwater management system. Yard debris should not be blown or dumped into the inlets, swales, or the dry retention basin. Applications of fertilizers to landscaping should be minimized, and applied only according to label rates, and published recommendations from relevant sources.
- e. At least monthly, check inlet and outlet structures, pipes, and swales to ensure they are functioning properly. Inspect and document whether pipes, structures, or swales are blocked with vegetation, sediment, debris, or other obstructions. Sedimentation in the flow path can clog inlets and outlets and reduce conveyance efficiency and infiltration. Remove any blockages to restore the proper function of the system.
- f. An additional inspection should be made after heavy rainfall events, and in advance of anticipated major rainfall events, especially prior to forecasted tropical storms and hurricanes to ensure systems will be free of obstructions and can perform as designed.
- g. At least monthly, inspect, collect, and dispose of debris, trash, and other waste materials at appropriate disposal/recycling sites and in compliance with all applicable local, state, and federal waste regulations. Document any significant findings or illegal dumping activities.
- h. As applicable, verify the proper operation of oil and grease separators and outfall skimmers to ensure no discharge of oils or greases. Inspect and document the maintenance of the grease removal BMPs. Replace in accordance with the manufacturer's specifications. Skimmers should be inspected for any damages that could result in the discharge of greases and oils. Document any necessary repair efforts.

Outfall structures, grease separators, skimmers:

ID	Loc	Top	Weir/Orifice	pipe	Inv	outfall desc
D-10	RET	23.57	(2) 36" w weir, inv 23.07	20" 18"	18.1/18.0	Type D with baffle, RET to CR512 swale

Corrective Maintenance Plan

- a. If significant erosion is observed, the issue should be resolved by repairing/ regrading the eroded area and stabilizing the repaired area with sod. Any repairs should be made to restore the site to the original permitted design condition. Repair undercut and eroded areas at inflow/outflow structures. Upon failure, perform total rehabilitation of the basin and restore design storage capacity. Excavate the basin bottom to expose clean soil.
- b. If significant clogging of the pipes or inlets is observed (i.e. the blockage is greater than 25% of pipe or inlet opening), the blockages (typically sediment, debris, or rubbish) must be removed. In some cases, the blockages can be removed by hand or with common tools. If the blockages are more severe, use appropriate cleaning methods, such as high-pressure water blasting or hydro-jetting, to

- remove blockages and debris from pipes and inlets.
- c. If any damage to the structural integrity (cracking, subsidence, or deterioration) of the structures or pipes is found, consult with a registered professional to assess the situation. Repairs and replacements should be done in accordance with the original permitted design plans. Any deviations from the original plans may require a permit modification with the governing water management district.
- d. If significant amounts of trash are evident, or if illegal dumping becomes an issue, corrective actions such as installing fences, posting signs, or installing inlet inserts may be necessary.
- e. (As applicable) If oil and grease separators and outfall skimmers are found to need repair or replacement, use the original product as specified on the permitted plans, or a substantially equivalent product. Replace in accordance with the manufacturer's specifications. If damaged, skimmers should be replaced with the original material (typically aluminum or fiberglass), and installed with the same dimensions, and at the same elevations, as shown on the original permitted plans.

INSPECTION REQUIREMENTS

The Operation and Maintenance entity (HOA, POA, owner/ operator) shall ensure that inspections are conducted to ensure the system(s) are being maintained as designed and permitted. Specific attention shall be made during inspections to ensure that:

1. All erosion is controlled, soil is stabilized to prevent sediment discharge to receiving waters
2. To keep system free of debris, trash, garbage, oils and greases, floatables and other refuse
3. Ensure oil and grease separators, skimmers or collection devices are working properly
4. Structures have not become clogged or choked with vegetative or aquatic growth
5. System components have been maintained to remove sediments debris and other deleterious materials to ensure systems continue to perform as designed and permitted
6. System components associated with nutrient or other pollutant removal are in good working order.
7. Maintenance logs are reviewed to ensure devices are functioning properly and are being replaced in intervals recommended in the O&M plan

Inspections by a Registered Professional

Inspections and reporting should be conducted in accordance with the ERP permit conditions, reported to the state permitting authority utilizing Form 62-330.311(1) "Operation and maintenance Inspection certificate" and Form 62-330.311(3) "Inspections Check List" within 30 days of the inspection.

Within 30 days of the failure of any systems or deviation from the permit, a report shall be submitted to the state permitting authority utilizing Form 62-330.311(1) "Operation and maintenance Inspection certificate" describing the remedial actions taken to resolve the failure or deviation.

FREQUENCY OF INSPECTIONS BY REGISTERED PROFESSIONAL

Type of System:	Frequency	Location	Other
Dry Retention	3 years	North & south corners of the site and perimeter swale interconnection along the NE & SE perimeter of the site	n/a

Inspections by the O&M Entity - Monthly

At least monthly, and concurrent with the implementation of the regular "Routine Maintenance Plan" the O&M Entity shall perform an inspection of the Stormwater Management System. After each inspection, maintenance operations shall be directed as necessary. A regular inspection means the visual inspection of the facilities at scheduled periods to check for any signs of deterioration or functioning of the constructed systems. The O&M Entity shall ensure there is a monthly inspection report/ Maintenance log prepared (utilizing Form in Appendix C "Operation and Maintenance Inspection Record/ Maintenance Log"), and it is reviewed by the O&M Entity and that the O&M Entity keeps records of each monthly log, and this log will be made available to the Registered Professional for review at the time of the required inspection by a Registered Professional. If the monthly inspection identifies issues that are beyond routine maintenance and repair and may be evidence of a system failure or deviation from the permit, the O&M Entity should contact a Registered Professional to conduct an inspection.

PAVING SCHEDULE - OFFSITE

- WIDENING
- 1.25" FC-9.5
- 1.75" TYPE SP-12.5
- 16" MIN. COQUINA (LBR 100)

NOTE: PROP. BASE MUST EXTEND AT LEAST 2' DEEPER THAN EXISTING BASE, AND MUST BE INSTALLED IN A MIN. OF 3 LIFTS.
*OPTIONAL 10" COQUINA (LBR 100) AND 12" TYPE 18' STABILIZATION OR 16" COQUINA (LBR 100)

GENERAL GRADING NOTES:

1. ALL SIDEWALKS, NEW & RECONSTRUCTED SHALL MEET ADA REQUIREMENTS:
 - 1.1. MAX 2% CROSS SLOPE
 - 1.2. MAX 5% LONGITUDINAL SLOPE
 - 1.3. MIN 5' x 5' LANDING AT CHANGE IN DIRECTION, AT 2% MAX SLOPE ALL WAYS
 - 1.4. MAX 12:1 SLOPE, MAX 6' IN LENGTH FOR RAMP. LENGTH MAY BE INCREASE IF HANDRAIL IS PROVIDED
2. ALL SLOPES 6:1 OR STEEPER SHALL BE STABILIZED WITH SOD.
3. PAVEMENT CROSS SLOPE SHOWING @ 2%, IT SHALL NOT BE LESS THAN 1.5%
4. SIDEWALK SHOWING @ 1.5%, IT SHALL NOT BE MORE THAN 2% OR LESS THAN 1%

NO.	DATE	DESCRIPTION
1	06/24/2024	REV PER CIVIL COMMENTS
2		REV PER FOOTING COMMENTS
3		REV PER FOOTING COMMENTS
4		REV PER CIVIL COMMENTS

SCHULKE, BITTLE & STODDARD, L.L.C.
 CIVIL & STRUCTURAL ENGINEERING - LAND PLANNING - ENVIRONMENTAL PERMITTING
 CERTIFICATION OF AUTHORIZATION NO.: 00008688
 1717 INDIAN RIVER BLVD., SUITE 201 VERO BEACH, FLORIDA 32960
 TEL 772-770-9622 FAX 772-770-9496 EMAIL info@sbsengineers.com

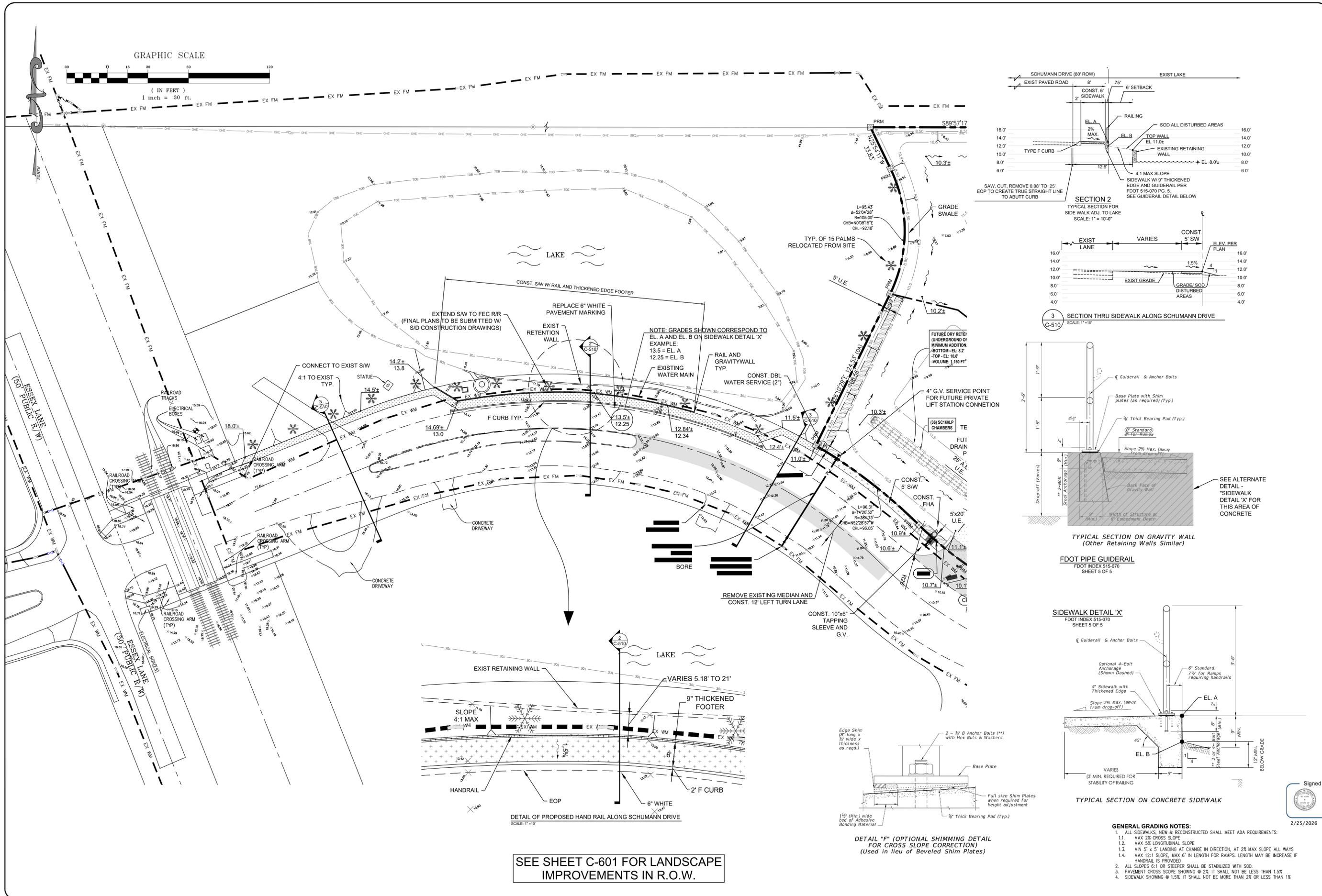
PAVING, GRADING & UTILITY PLAN SECTIONS

MAXWELL - SCHUMANN COMMERCIAL S/D CITY OF SEBASTIAN TEST PROJECT ADDRESS

SHEET **C-501**
 PROJECT NO. 22-031



Signed by: **Joseph Schulke**
 2/25/2026



SEE SHEET C-601 FOR LANDSCAPE IMPROVEMENTS IN R.O.W.

NO.	DATE	DESCRIPTION
1	03/07/2022	REV. PER 10/13/22 COS COMMENTS
2	04/19/22	REV. PER FOOT COMMENTS
3	04/19/22	REV. PER COS SERVICES COMMENTS
4	04/19/22	REV. PER FOOT REVIEWS COMMENTS
5	07/19/22	REV. PER COS SERVICES COMMENTS

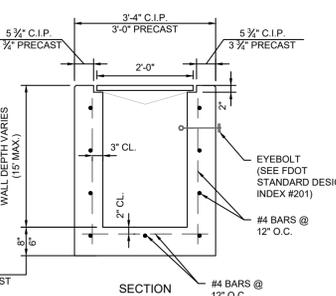
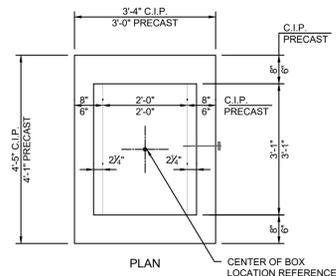
SCHULKE, BITTLE & STODDARD, L.L.C.
 CIVIL & STRUCTURAL ENGINEERING - LAND PLANNING - ENVIRONMENTAL PERMITTING
 CERTIFICATION OF AUTHORIZATION NO.: 0008868
 1717 INDIAN RIVER BLVD., SUITE 201 VERO BEACH, FLORIDA 32960
 TEL 772.770.9622 FAX 772.770.9496 EMAIL info@sbsengineers.com

MAXWELL - SCHUMANN
 COMMERCIAL S/D
 SEBASTIAN, FLORIDA
 CITY OF SEBASTIAN

OFF-SITE IMPROVEMENTS
 - SIDEWALK @ SCHUMANN DRIVE

Designed by: **Joseph Schulte**
 SHEET: **C-510**
 PROJECT NO.: 22-031

Signed by: 2/25/2026



HORIZONTAL WALL REINFORCING SCHEDULES (TABLE 1)

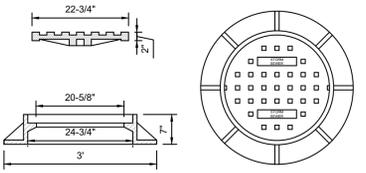
WALL DEPTH	SCHEDULE	AREA (in. ² /ft.)	MAX. SPACING	
			BARS	WWF
0'-15"	A12	0.20	12"	8"

TYPE C

RECOMMENDED MAXIMUM PIPE SIZE:
 2'-0" WALL - 18" PIPE
 3'-1" WALL - 24" PIPE (18" WHERE AN 18" PIPE ENTERS A 2'-0" WALL)

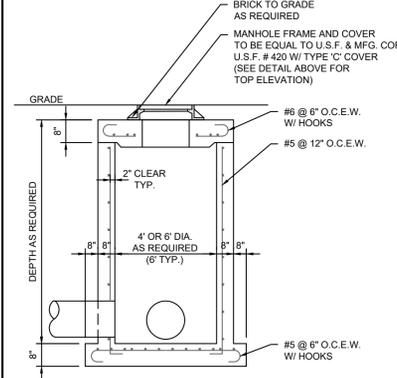
FDOT TYPE 'C' INLET

SCALE: N.T.S.

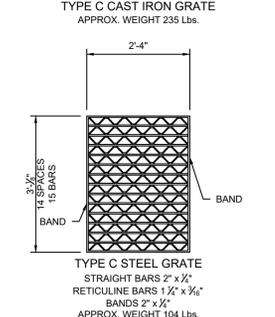
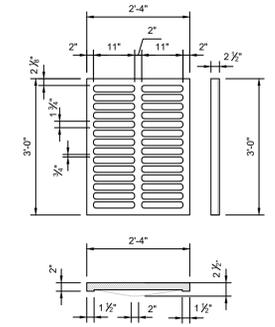


NOTE: CAST IRON MANHOLE RING AND COVER SHALL BE AS MANUFACTURED BY U.S. FOUNDRY & MANUFACTURING CORP. USF NO. 420 TOTAL WEIGHT 400 LBS.

FRAME AND COVER DETAIL



6\"/>



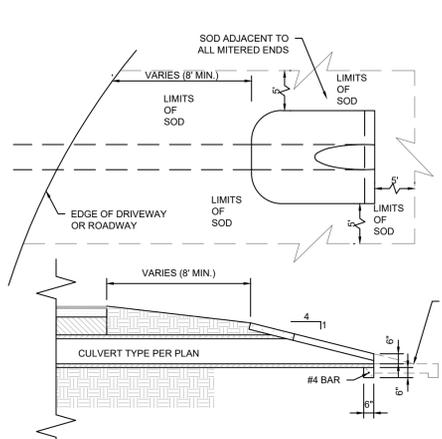
NOTE: STEEL GRATES ARE REQUIRED ON INLETS WITH TRAVERSABLE SLOTS AND ON INLETS WHERE BICYCLE TRAFFIC IS ANTICIPATED.

GENERAL NOTES (TYPE 'C', 'E' AND 'F' INLETS)

1. THESE INLETS ARE SUITABLE FOR BICYCLE TRAFFIC AND ARE TO BE USED IN DITCHES, MEDIANS AND OTHER AREAS SUBJECT TO INFREQUENT TRAFFIC LOADINGS BUT ARE NOT TO BE PLACED IN AREAS SUBJECT TO ANY HEAVY WHEEL LOADS. THESE INLETS MAY BE PLACED IN AREAS SUBJECT TO OCCASIONAL PEDESTRIAN TRAFFIC SUCH AS LANDSCAPED AREAS AND PAVEMENT AREAS WHERE PEDESTRIANS CAN WALK AROUND THE INLET.
2. INLETS SUBJECT TO MINIMAL DEBRIS SHOULD BE CONSTRUCTED WITHOUT SLOTS. WHERE DEBRIS IS A PROBLEM INLETS SHOULD BE CONSTRUCTED WITH SLOTS. SLOTTED INLETS LOCATED WITHIN ROADWAY CLEAR ZONES AND AREAS SUBJECT TO PEDESTRIANS SHALL HAVE TRAVERSABLE SLOTS. THE TRAVERSABLE SLOT MODIFICATION IS NOT ADAPTABLE TO INLET TYPE H. SLOTS MAY BE CONSTRUCTED AT EITHER OR BOTH ENDS AS SHOWN ON PLANS. TRAVERSABLE SLOTS SHALL NOT BE USED IN AREAS SUBJECT TO OCCASIONAL BICYCLE TRAFFIC.
3. STEEL GRATES ARE TO BE USED ON ALL INLETS WHERE BICYCLE TRAFFIC IS ANTICIPATED. STEEL GRATES ARE TO BE USED ON ALL INLETS WITH TRAVERSABLE SLOTS. EITHER CAST IRON OR STEEL GRATES MAY BE USED ON INLETS WITHOUT SLOTS WHERE BICYCLE TRAFFIC IS NOT ANTICIPATED. EITHER CAST IRON OR STEEL GRATES MAY BE USED ON ALL INLETS WITH NON-TRAVERSABLE SLOTS. SUBJECT TO THE SELECTION DESCRIBED ABOVE, WHEN ALTERNATIVE G GRATE IS SPECIFIED IN THE PLANS, EITHER THE STEEL GRATE, HOT DIP GALVANIZED AFTER FABRICATION, OR THE CAST IRON GRATE MAY BE USED, UNLESS THE PLANS STIPULATE THE PARTICULAR TYPE.
4. RECOMMENDED MAXIMUM PIPE SIZES SHOWN ARE FOR CONCRETE PIPE. PIPE SIZE FOR OTHER TYPES OF PIPE MUST BE CHECKED FOR FIT.
5. ALL EXPOSED EDGES AND CORNERS SHALL BE 1/4" CHAMFER OR TOOLED TO 1/4" RADIUS.
6. CONCRETE INLET PAVEMENT TO BE USED ON INLETS WITHOUT SLOTS AND INLETS WITH NON-TRAVERSABLE SLOTS ONLY WHEN CALLED FOR IN THE PLANS; BUT REQUIRED ON ALL TRAVERSABLE SLOT INLETS. COST TO BE INCLUDED IN CONTRACT UNIT PRICE FOR INLETS. QUANTITIES SHOWN ARE FOR INFORMATION ONLY.
7. TRAVERSABLE SLOTS CONSTRUCTED IN EXISTING INLETS SHALL BE PAID FOR AS INLETS PARTIAL. FOR CONVERSION WORK AND METHOD OF PAYMENT SEE "TRAVERSABLE SLOT INLETS (PARTIAL) FOR EXISTING INLETS".
8. SODDING TO BE USED ON ALL INLETS NOT LOCATED IN PAVED AREAS AND PAID FOR UNDER CONTRACT UNIT PRICE FOR PERFORMANCE TURF, SY.
9. FOR SUPPLEMENTARY DETAILS SEE FDOT STANDARD INDEX DETAIL # 201.
10. ALL REINFORCING IS GRADE 60 BARS WITH 2" MIN. COVER UNLESS OTHERWISE NOTED. BARS TO BE CUT OR BENT FOR 1-1/2" CLEARANCE AROUND PIPE OPENING. PROVIDE ONE ADDITIONAL #4 BAR ABOVE AND AT EACH SIDE OF PIPE OPENING.

NOTES:

1. CONTRACTOR TO CONSTRUCT DRAINAGE STRUCTURES WITH USF GRATES, RIMS AND COVERS AS CALLED OUT OR APPROVED EQUAL. SHOP DRAWINGS ARE TO BE PROVIDED TO ENGINEER FOR APPROVAL PRIOR TO ANY CONSTRUCTION.
2. CONTRACTOR TO REFER TO FDOT DESIGN STANDARD (AND NOT LIMITED TO) INDEX 200, 201, 214, 232 & 233 FOR MANHOLE, INLET AND GRATE SPECIFICATIONS.
3. ALL DRAINAGE STRUCTURES SHALL BE CONSTRUCTED WITH (4) SIDED BEARING AND HEAVY DUTY TRAFFIC RIMS AND GRATES.
4. ALL EXISTING PAVEMENT AND CONCRETE TO BE JOINED SHALL BE SAWCUT.
5. SIDEWALKS SHALL NOT EXCEED 2% CROSS SLOPE IN ANY DIRECTION.
6. SPOT ELEVATIONS ARE AT EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
7. MAXIMUM CUT OR FILL SLOPES IS 3H:1V UNLESS OTHERWISE NOTED.
8. ALL THE ELEVATIONS SHOWN ARE FINISHED GRADE ELEVATIONS.
9. CONTRACTOR TO SUBTRACT PAVEMENT THICKNESS AND FLOOR SLAB THICKNESS FOR SUBGRADE ELEVATIONS.
10. CONTRACTOR SHALL REFER TO ARCHITECTURAL AND PLUMBING PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ALL VESTIBULES, SIDEWALKS, EXIT PORCHES, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS, AND EXACT UTILITY ENTRANCE LOCATIONS.
11. CONTRACTOR SHALL CONSTRUCT MANHOLE ON TYPE 'J' OR 'I' STRUCTURE BOTTOM WHEN PIPE QUANTITY AND/OR DIAMETER REQUIRES LARGER DIAMETER MANHOLE TO ACCOMMODATE THE PIPE.

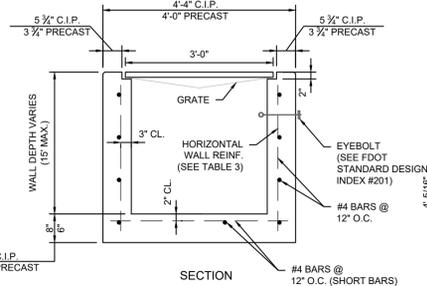
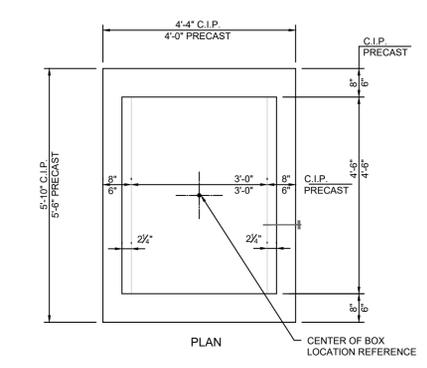


BIT COATED CMP SHALL BE USED AT ALL M.E.S. SECTIONS FOR ADS CULVERTS CONC. JACKET OR OTHER APPROVED TRANSITION (FORMED METAL BAND) SHALL BE USED TO COUPLE THE PIPES.

SEE FDOT INDEX NO. 272, 273 AS APPLICABLE FOR CONSTRUCTION DETAILS OF MITERED END DETAILS, DIMENS., ETC. DEPEND ON TYPE AND DIA. OF PIPE. SIDE DRAINS: FDOT INDEX 273 CROSS DRAINS: FDOT INDEX 272

MITERED END SECTION

N.T.S.



HORIZONTAL WALL REINFORCING SCHEDULES (TABLE 3)

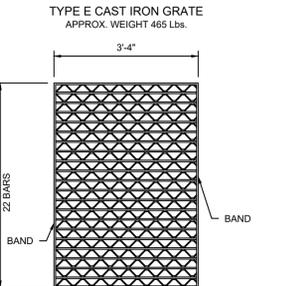
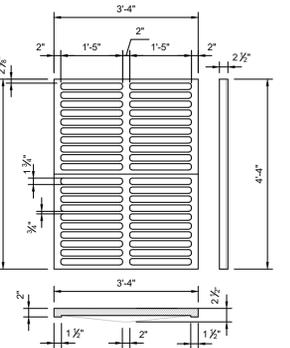
WALL DEPTH	SCHEDULE	AREA (in. ² /ft.)	MAX. SPACING	
			BARS	WWF
0'-5"	A12	0.20	12"	8"
0'-7.5"	A6	0.20	6"	5"
7.5'-10"	B5.5	0.24	5.5"	5"
10'-15"	C6.5	0.37	6.5"	6"

RECOMMENDED MAXIMUM PIPE SIZE:

- 3'-0" WALL - 24" PIPE
- 4'-6" WALL - 36" PIPE

FDOT TYPE 'E' INLET

SCALE: N.T.S.



FDOT TYPE 'F' INLET

SCALE: N.T.S.

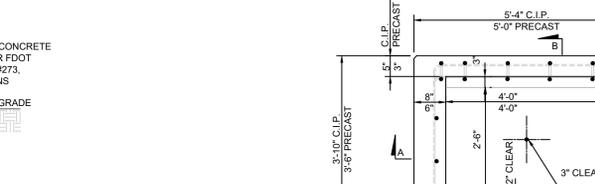
NOTE: STEEL GRATES ARE REQUIRED ON INLETS WITH TRAVERSABLE SLOTS AND ON INLETS WHERE BICYCLE TRAFFIC IS ANTICIPATED.

GENERAL NOTES

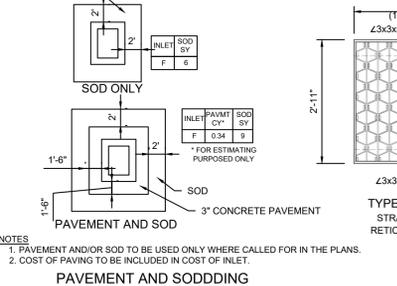
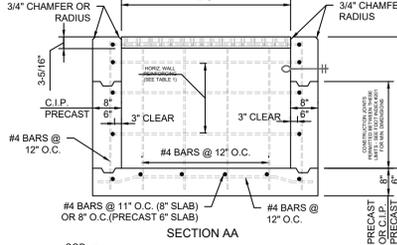
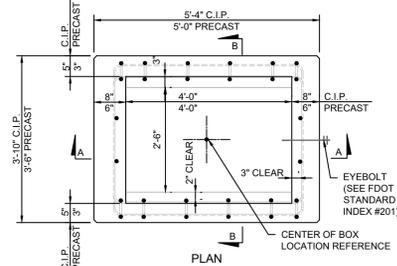
1. THESE INLETS ARE SUITABLE FOR BICYCLE TRAFFIC AND ARE TO BE USED IN DITCHES, MEDIANS AND OTHER AREAS SUBJECT TO INFREQUENT TRAFFIC LOADINGS BUT ARE NOT TO BE PLACED IN AREAS SUBJECT TO ANY HEAVY WHEEL LOADS. THESE INLETS MAY BE PLACED IN AREAS SUBJECT TO OCCASIONAL PEDESTRIAN TRAFFIC SUCH AS LANDSCAPED AREAS AND PAVEMENT AREAS WHERE PEDESTRIANS CAN WALK AROUND THE INLET.
2. INLETS SUBJECT TO MINIMAL DEBRIS SHOULD BE CONSTRUCTED WITHOUT SLOTS. WHERE DEBRIS IS A PROBLEM INLETS SHOULD BE CONSTRUCTED WITH SLOTS. SLOTTED INLETS LOCATED WITHIN ROADWAY CLEAR ZONES AND AREAS SUBJECT TO PEDESTRIANS SHALL HAVE TRAVERSABLE SLOTS. THE TRAVERSABLE SLOT MODIFICATION IS NOT ADAPTABLE TO INLET TYPE H. SLOTS MAY BE CONSTRUCTED AT EITHER OR BOTH ENDS AS SHOWN ON PLANS. TRAVERSABLE SLOTS SHALL NOT BE USED IN AREAS SUBJECT TO OCCASIONAL BICYCLE TRAFFIC.
3. STEEL GRATES ARE TO BE USED ON ALL INLETS WHERE BICYCLE TRAFFIC IS ANTICIPATED. STEEL GRATES ARE TO BE USED ON ALL INLETS WITH TRAVERSABLE SLOTS. EITHER CAST IRON OR STEEL GRATES MAY BE USED ON INLETS WITHOUT SLOTS WHERE BICYCLE TRAFFIC IS NOT ANTICIPATED. EITHER CAST IRON OR STEEL GRATES MAY BE USED ON ALL INLETS WITH NON-TRAVERSABLE SLOTS. SUBJECT TO THE SELECTION DESCRIBED ABOVE, WHEN ALTERNATIVE G GRATE IS SPECIFIED IN THE PLANS, EITHER THE STEEL GRATE, HOT DIP GALVANIZED AFTER FABRICATION, OR THE CAST IRON GRATE MAY BE USED, UNLESS THE PLANS STIPULATE THE PARTICULAR TYPE.
4. RECOMMENDED MAXIMUM PIPE SIZES SHOWN ARE FOR CONCRETE PIPE. PIPE SIZE FOR OTHER TYPES OF PIPE MUST BE CHECKED FOR FIT.
5. ALL EXPOSED EDGES AND CORNERS SHALL BE 1/4" CHAMFER OR TOOLED TO 1/4" RADIUS.
6. CONCRETE INLET PAVEMENT TO BE USED ON INLETS WITHOUT SLOTS AND INLETS WITH NON-TRAVERSABLE SLOTS ONLY WHEN CALLED FOR IN THE PLANS; BUT REQUIRED ON ALL TRAVERSABLE SLOT INLETS. COST TO BE INCLUDED IN CONTRACT UNIT PRICE FOR INLETS. QUANTITIES SHOWN ARE FOR INFORMATION ONLY.
7. TRAVERSABLE SLOTS CONSTRUCTED IN EXISTING INLETS SHALL BE PAID FOR AS INLETS PARTIAL. FOR CONVERSION WORK AND METHOD OF PAYMENT SEE "TRAVERSABLE SLOT INLETS (PARTIAL) FOR EXISTING INLETS".
8. SODDING TO BE USED ON ALL INLETS NOT LOCATED IN PAVED AREAS AND PAID FOR UNDER CONTRACT UNIT PRICE FOR PERFORMANCE TURF, SY.
9. FOR SUPPLEMENTARY DETAILS SEE FDOT STANDARD INDEX DETAIL # 201.
10. ALL REINFORCING IS GRADE 60 BARS WITH 2" MIN. COVER UNLESS OTHERWISE NOTED. BARS TO BE CUT OR BENT FOR 1-1/2" CLEARANCE AROUND PIPE OPENING. PROVIDE ONE ADDITIONAL #4 BAR ABOVE AND AT EACH SIDE OF PIPE OPENING.

MISCELLANEOUS CONDUIT

N.T.S.



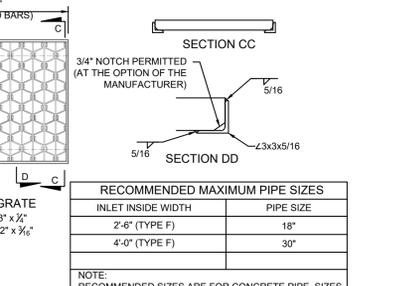
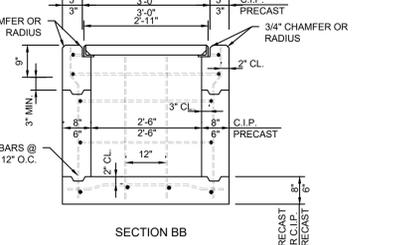
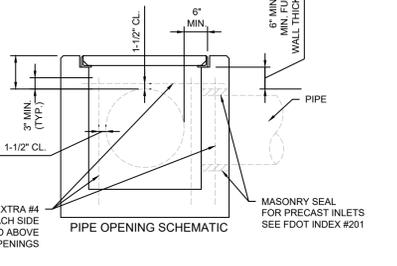
1. CONTRACTOR TO INCLUDE NECESSARY P.V.C. 90° BENDS, P.V.C. CAPS, AND STUB-OUTS IN BID.



PAVEMENT AND SODDING

HORIZONTAL WALL REINFORCING SCHEDULES TYPE 'F' INLET (TABLE 1)

WALL DEPTH	SCHEDULE	AREA (in. ² /ft.)	MAX. SPACING	
			BARS	WWF
0'-4"	A12	0.20	12"	8"
4'-7"	A6	0.20	6"	5"
7'-12"	B5.5	0.24	5.5"	5"
12'-15"	SPECIAL 1	0.27	5"	4"



RECOMMENDED MAXIMUM PIPE SIZES

INLET INSIDE WIDTH	PIPE SIZE
2'-6" (TYPE F)	18"
4'-0" (TYPE F)	30"

NOTE: RECOMMENDED SIZES ARE FOR CONCRETE PIPE. SIZES FOR OTHER TYPES OF PIPE MUST BE VERIFIED FOR FIT IN ACCORDANCE WITH FDOT STANDARD INDEX #201. FOR LARGER PIPE SIZES SEE NOTE #3.

GENERAL NOTES

1. THESE INLETS ARE DESIGNED FOR USE IN DITCHES, MEDIANS, PAVEMENT AREAS, OR OTHER AREAS SUBJECT TO HEAVY WHEEL LOADS, MINIMAL DEBRIS, AND BICYCLE TRAFFIC. THIS INLET MAY BE PLACED IN AREAS SUBJECT TO OCCASIONAL PEDESTRIAN TRAFFIC SUCH AS LANDSCAPED AREAS AND PAVEMENT AREAS WHERE PEDESTRIANS CAN WALK AROUND THE INLET. WHEN INLET IS PLACED IN AREAS SUBJECT TO BICYCLE TRAFFIC, INSTALL FILLER BAR WHEN CLEARANCE OR GAP IS GREATER THAN 1" AS SHOWN IN FDOT STANDARD INDEX #218 INSET B.
2. WHEN ALTERNATE G GRATE IS SPECIFIED IN PLANS, THE GRATE IS TO BE HOT DIP GALVANIZED AFTER FABRICATION.
3. THESE INLETS MAY BE USED WITH ALTERNATE B STRUCTURE BOTTOMS, FDOT STANDARD INDEX #200. THE INLET AND BOTTOM COMBINATIONS ARE TO BE PAID FOR UNDER THE CONTRACT UNIT PRICE FOR INLETS (DT BOT) (TYPE F) (J) (BOT, DEPTH) EA.
4. ALL EXPOSED EDGES AND CORNERS SHALL BE 1/4" CHAMFER OR TOOLED TO 1/4" RADIUS.
5. FOR SUPPLEMENTARY DETAILS, SEE FDOT STANDARD INDEX #201.
6. ALL REINFORCING IS GRADE 60 BARS WITH 2" MIN. COVER UNLESS OTHERWISE NOTED. BARS TO BE CUT OR BENT FOR 1-1/2" CLEARANCE AROUND PIPE OPENING. PROVIDE ONE ADDITIONAL #4 BAR ABOVE AND AT EACH SIDE OF PIPE OPENING.
7. ALL DIMENSIONS ARE FOR BOTH PRECAST AND CAST-IN-PLACE INLETS UNLESS OTHERWISE NOTED.

DATE	REVISION	MARK
01/17/25 <td>REV PER FDOT COMMENTS</td> <td></td>	REV PER FDOT COMMENTS	
09/15/25 <td>REV PER FDOT COMMENTS</td> <td></td>	REV PER FDOT COMMENTS	
07/10/25 <td>REV PER FDOT COMMENTS</td> <td></td>	REV PER FDOT COMMENTS	
07/16/25 <td>REV PER FDOT COMMENTS</td> <td></td>	REV PER FDOT COMMENTS	

SCHULKE, BITTLE & STODDARD, L.L.C.
 CIVIL & STRUCTURAL ENGINEERING - LAND PLANNING - ENVIRONMENTAL PERMITTING
 1717 INDIAN RIVER BLVD., SUITE 201 VERO BEACH, FLORIDA 32960
 TEL 772 / 770-9622 FAX 772 / 770-9496 EMAIL info@sbsengmeers.com

PAVING AND GRADING DETAILS
CONT.

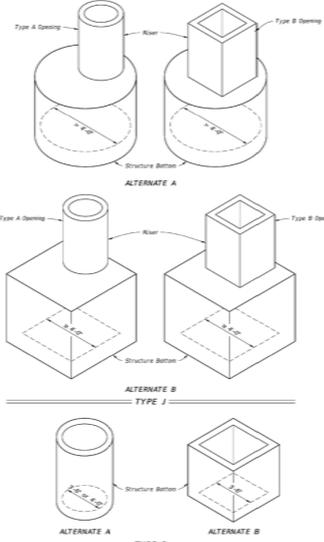
MAXWELL - SCHUMANN
 COMMERCIAL S/D
 SEBASTIAN, FLORIDA
 CITY OF SEBASTIAN

Signed by: *Joseph W. Schulte*
 DATE: 11/05/2024

SHEET **C-514**
 PROJECT NO. 22-031

GENERAL NOTES:

- 1. Refer to index with Specification 425 and Index 425-010.
2. Type of structure bottom as shown in alternate A and B.
3. Walls of circular structures (A) are constructed in place...



- REINFORCEMENT NOTES:
1. Locate wall reinforcement in rectangular structures as shown in the WALL REINFORCEMENT SCHEDULE DETAILS in Index 425-001.
2. Provide minimum lap length for all reinforcement unless otherwise noted...

TABLE OF CONTENTS:
Sheet Description
1 General Notes and Contents
2 Dimensional and Reinforcing Details
3 Tables 1, 2, 3, and 4
4 Tables 5 and 6

Table with columns: LAST REVISION, DESCRIPTION, INDEX, SHEET. Row 1: 11/01/20, STRUCTURE BOTTOMS TYPE J AND P, 425-010, 1 of 4.

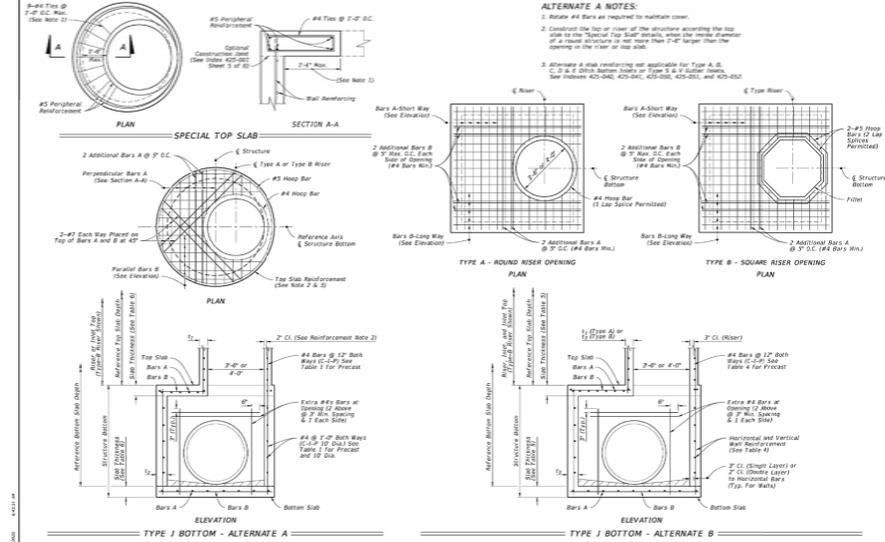


TABLE 1 - ALTERNATE A - STRUCTURES
TABLE 2 - ALTERNATE B SQUARE AND RECTANGULAR STRUCTURES

TABLE 3 - REINFORCING SCHEDULE
GRADE 60 BARS OR EQ. K51 & K53
MINIMUM BARS PER SCHEDULE

TABLE 4 - WALL DESIGNS - RECTANGULAR STRUCTURES
VERTICAL REINFORCING SCHEDULE
NON-CIRCULAR REINFORCING SCHEDULE

TABLE 5 - SLAB DESIGNS - SQUARE AND RECTANGULAR STRUCTURES
TABLE 6 - SLAB DESIGNS - ROUND STRUCTURES

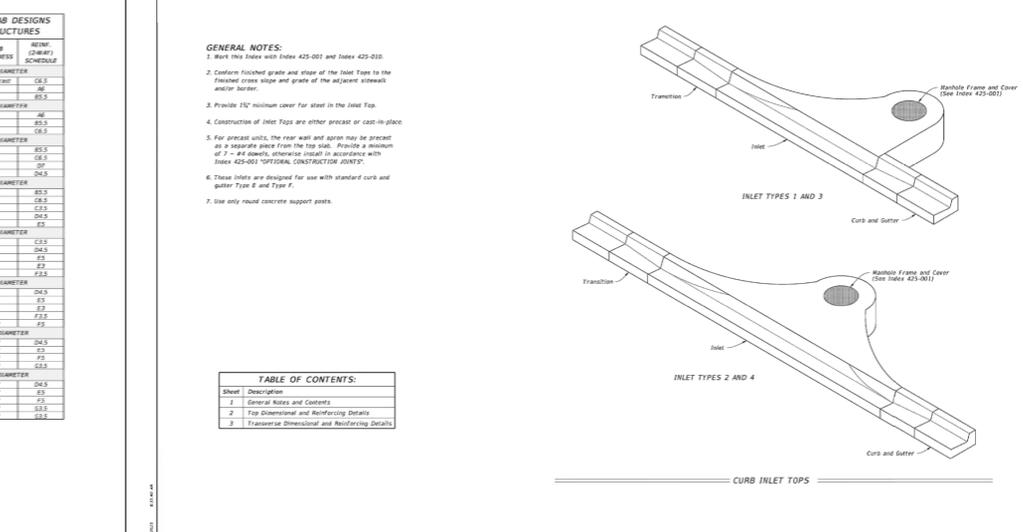


Table with columns: LAST REVISION, DESCRIPTION, INDEX, SHEET. Row 1: 11/01/20, CURB INLET TOP TYPES 1, 2, 3, AND 4, 425-020, 1 of 3.

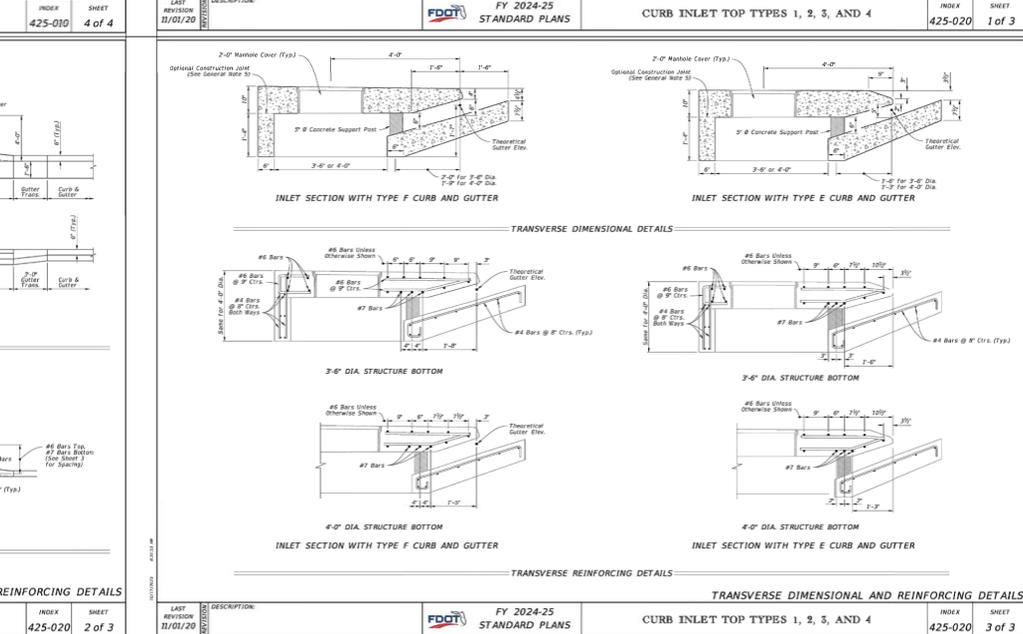
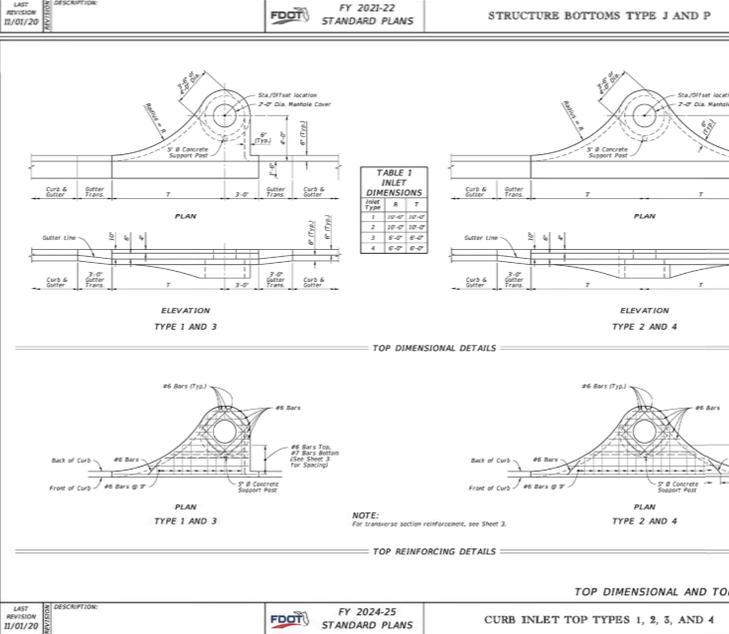


Table with columns: LAST REVISION, DESCRIPTION, INDEX, SHEET. Row 1: 11/01/20, CURB INLET TOP TYPES 1, 2, 3, AND 4, 425-020, 2 of 3.

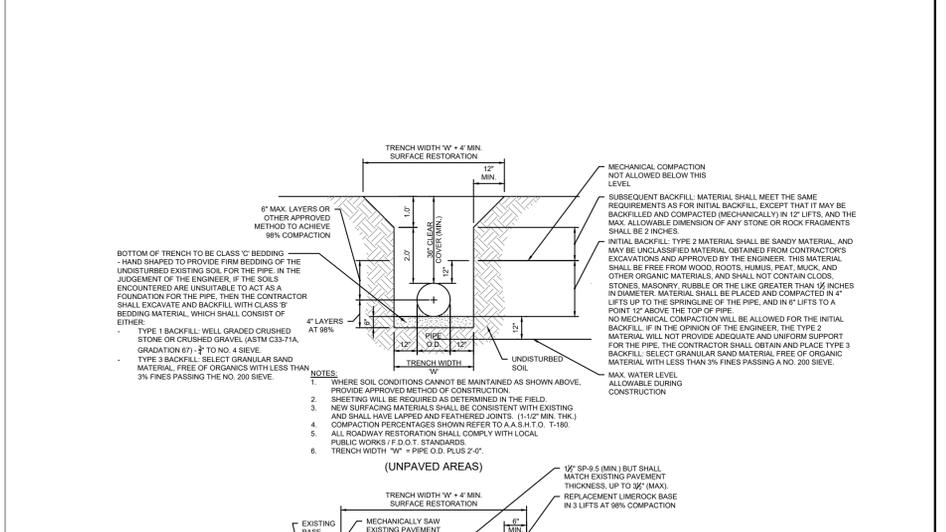


Table with columns: LAST REVISION, DESCRIPTION, INDEX, SHEET. Row 1: 11/01/20, TRENCH DETAIL, 425-010, 3 of 4.

Professional engineering stamps for SCHULKE, BITTLE & STODDARD, L.L.C. and MAXWELL - SCHUMANN COMMERCIAL - S/D SEBASTIAN, FLORIDA CITY OF SEBASTIAN. Includes project number 22-031 and date 2/25/2026.

LAST SAVED: 7/17/2025 3:16:51 PM. DRAWING: 130222-031 MAXWELL 000 SCHUMANN DR CDD/PRODUCTION DRAWINGS/PRELIMINARY PLAT130222-031 C-517 TYPICAL PAVEMENT MARKING DETAILS DWG. PLOT DATE: 10/20/26 9:25:55 AM. PLOTTED BY: LILLY

1. THERMOPLASTIC SHALL CONFORM TO THE REQUIREMENTS OF THE FLORIDA D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. SEE SECTION 711. MINIMUM THICKNESS SHALL BE 90MLS (ALKYD ONLY), EXTRUDED ONLY, LEADED MATERIAL ONLY, ON ALL COUNTY MAINTAINED ROADWAYS.
2. EXISTING ROAD SURFACE SHALL BE OVERLAID THROUGHOUT THE LIMITS OF CONSTRUCTION, IF THE EXISTING PAVEMENT MARKINGS ARE INCONSISTENT WITH THOSE PROPOSED, UNLESS OTHERWISE APPROVED BY CITY OF SEBASTIAN TRAFFIC ENGINEERING.
3. THERMOPLASTIC SHALL BE USED UNLESS OTHERWISE APPROVED BY CITY OF SEBASTIAN TRAFFIC ENGINEERING.
4. ALL PAVEMENT MARKINGS SHALL BE INSTALLED OR REPLACED ON EACH APPROACH WITH THE SAME MATERIAL USED AT THE TRANSITION, CONSTRUCTED FOR A DISTANCE PER PLAN NOTES TO CONFORM WITH EXISTING ROADWAY DESIGN AS APPROVED BY CITY OF SEBASTIAN TRAFFIC ENGINEERING (M.U.T.C.D. & F.D.O.T. STANDARD PLANS FOR ROAD CONSTRUCTION).
5. SPEED EQUALS POSTED SPEED IN M.P.H. OR DESIGN SPEED, WHICHEVER IS GREATER.
6. DIMENSIONS AND GEOMETRIC LAYOUTS INDICATED IN THIS DOCUMENT REPRESENT MINIMUM REQUIREMENTS AND DO NOT SUPERCEDE THE NEED FOR FURTHER ENGINEERING DESIGN TO MEET THE NEEDS OF SPECIFIC PROJECTS.
7. PAVEMENT MARKING INSTALLATIONS SHALL BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, THE M.U.T.C.D. & F.D.O.T. STANDARD PLANS FOR ROAD CONSTRUCTION (LATEST EDITION).
8. ALL EXISTING ABOVE GROUND UTILITIES AND ANY OBJECTS WITHIN THE RIGHT-OF-WAY OR ROADSIDE CLEAR ZONE, WHICHEVER IS GREATER (WITHIN THE LIMITS OF CONSTRUCTION), SHALL BE SHOWN ON THE PAVEMENT MARKING PLANS.
9. WHEN USING CHARTS BELOW, DESIGN SPEED SHALL BE SHOWN ON THE PLANS.
10. TRANSITION FROM PAVED SHOULDER TO EXISTING PAVEMENT EDGE SHALL BE 30:1.
11. IF EXISTING PAVEMENT MARKING MATERIAL IS NOT COMPATIBLE WITH ALKYD THERMOPLASTIC, IT SHALL BE REMOVED PRIOR TO COMMENCEMENT OF WORK.
12. DISTANCE BETWEEN STOP BAR AND CROSSWALK SHALL BE A MINIMUM OF 4 FEET.
13. ANY PAVEMENT WIDENING, TURNOUTS, AND STREET IMPROVEMENTS WITHIN DISTANCE (X) (SEE CHART #1 BELOW), SHALL BE SHOWN ON THE PLANS.
14. 2' SHOULDERS SHALL BE USED ON NON THOROUGHFARE PLAN ROADWAYS.
4' SHOULDERS SHALL BE USED ON THOROUGHFARE PLAN ROADWAYS.
15. THERMOPLASTIC SHALL NOT BE INSTALLED ON ROADWAY UNTIL FIVE CALENDAR DAYS AFTER THE FINAL LIFT OF ASPHALT HAS BEEN COMPLETED, WITH THE EXCEPTION OF FRICTION COURSE #2, WHICH SHALL BE 30 DAYS OR AS SPECIFIED BY CITY OF SEBASTIAN TRAFFIC ENGINEERING.
16. ALL PAVEMENT MARKINGS SHALL HAVE REFLECTIVITY OF NOT LESS THAN 350 MINI-CANDELES AT INSTALLATION.
17. ALL LONGITUDINAL PAVEMENT MARKINGS SHALL BE 6" WIDE, UNLESS OTHERWISE NOTED, PER F.D.O.T. STANDARD PLANS FOR ROAD CONSTRUCTION OR CITY OF SEBASTIAN DESIGN STANDARDS.
18. IF THE PROPOSED TRANSITION FALLS WITHIN DISTANCE (X) (SEE CHART #1, BELOW), OF AN EXISTING TURN LANE TRANSITION, THE AREA BETWEEN TRANSITIONS SHALL BE CONSTRUCTED AS A CONTINUOUS WIDENED SECTION, FOR GEOMETRIC CONTINUITY.
19. VARIATIONS FROM THIS STANDARD SHALL BE APPROVED BY CITY OF SEBASTIAN TRAFFIC ENGINEERING.
20. ALL PAVEMENT MARKING DIMENSIONS MEASURE TO THE CENTER OF THE PAVEMENT MARKING LINE.
21. ALL PAVEMENT MARKINGS SHALL BE SHOWN TO SCALE ON THE PLANS.
22. ALL REFLECTIVE PAVEMENT MARKERS SHALL BE APPROVED BY CITY OF SEBASTIAN TRAFFIC ENGINEERING BEFORE INSTALLATION.
23. ALL MARKERS SHALL BE CLASS "B" AS PER FOOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE SECTION 706.
24. FOR TWO LANE ROADWAYS, DOUBLE YELLOW CENTERLINE (RUN BACK) SHALL BE INSTALLED AT INTERSECTIONS AS FOLLOWS: MINIMUM 50' FOR LOCAL STREETS AND 100' FOR THOROUGHFARE PLAN ROADWAYS.
25. INDICATES TRAFFIC FLOW (NOT A PAVEMENT MARKING).
26. REFLECTORS SHALL BE PLACED AT EACH CROSS HATCH. SPACING VARIES WITH SPEED AS SHOWN ON THIS TYPICAL DETAIL.
27. EPOXY SHALL BE USED WHEN INSTALLING R.P.M.'S ON CONCRETE. NO BITUMINOUS ADHESIVE SHALL BE USED TO SECURE R.P.M.'S. THERMOPLASTIC OR EPOXY SHALL BE USED ON ASPHALTIC SURFACES.
28. RPMs SHALL BE SET ON BRIDGE DECK AND AT EDGE LINES IN ADVANCE OF BRIDGE FOR A DISTANCE OF (X) FEET. (SEE CHART #1, BELOW).
29. R.P.M.'S ARE TO BE PLACED 1" (INCH) TO THE RIGHT OR LEFT OF THE LINE, AS APPROVED BY THE COUNTY.
30. OR DENOTES FLEXIBLE DELINEATOR POST.
31. ALL PAVEMENT MARKING MATERIAL SHALL BE ON THE APPROVED DEPARTMENT OF TRANSPORTATION "QUALITY PRODUCTS LIST" (QPL) AND APPROVED BY I.R.C. ENGINEERING, BEFORE INSTALLATION ON COUNTY ROADWAYS.
32. REMOVAL OF PAVEMENT MESSAGES SHALL BE IN BLOCK STYLE SUCH THAT THE MESSAGE IS NO LONGER DISCERNABLE. IN ADDITION, ALL PAVEMENT MARKINGS SHALL BE REMOVED BY MECHANICAL GRINDING, HYDRO-BLASTING, OR AS OTHERWISE APPROVED BY THE PUBLIC WORKS DIRECTOR OR HIS DESIGNEE.
33. LANE LINE RPMs ON THE 4' (OR MORE) LANE PORTION OF ANY MEDIAN DIVIDED ROADWAY SHALL BE BI-DIRECTIONAL, WHITE/RED (SEE STRIPING KEY "T"). ALL OTHER ROADWAYS, INCLUDING THOSE WITH BI-DIRECTIONAL CENTER LEFT TURN LANES, SHALL USE MONO-DIRECTIONAL WHITE RPMs.
34. ALL PAVEMENT MARKINGS AND REFLECTIVE PAVEMENT MARKERS SHALL BE IN ACCORDANCE WITH CITY OF SEBASTIAN TYPICAL DRAWINGS, THE MOST RECENT VERSION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.) AND THE F.D.O.T. STANDARD PLANS FOR ROAD CONSTRUCTION.

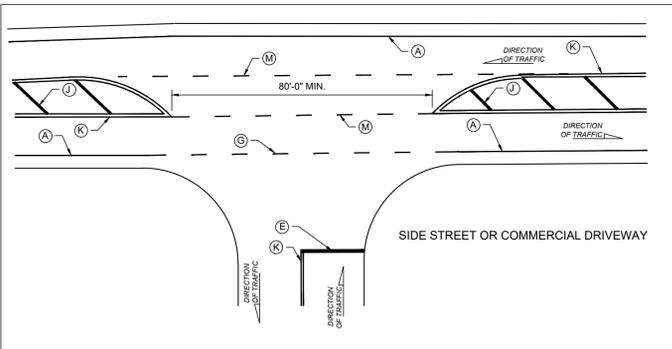
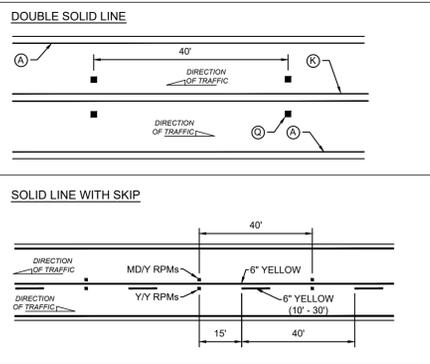
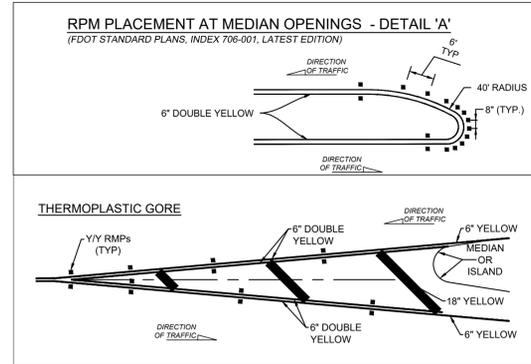
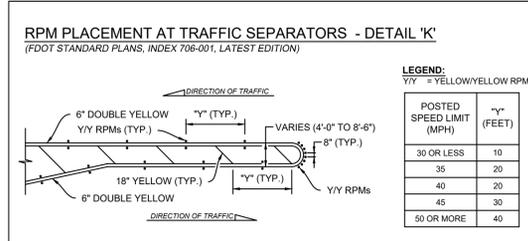
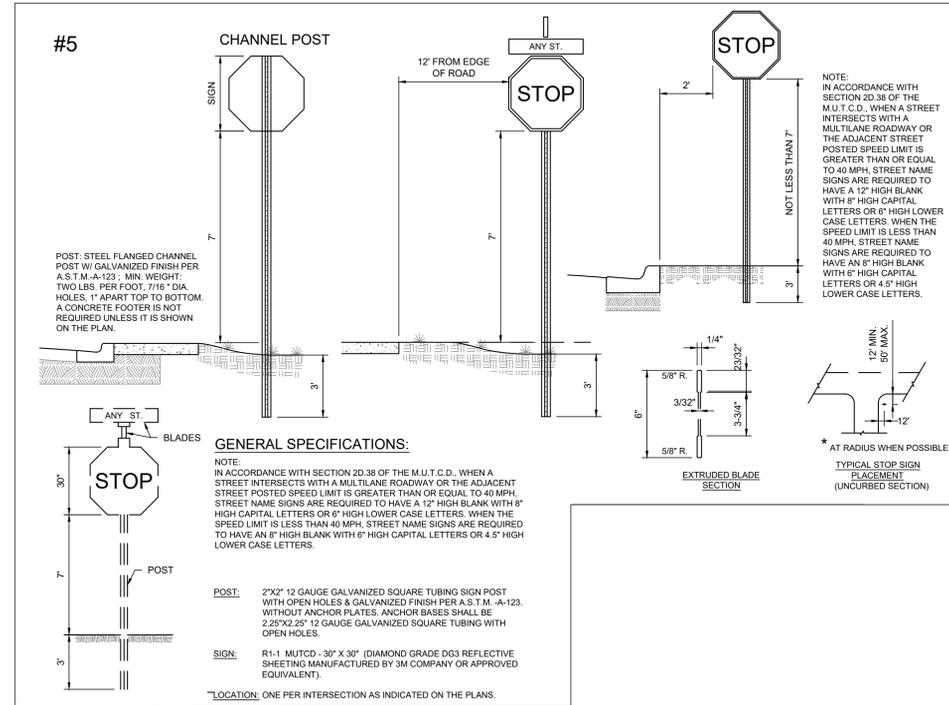
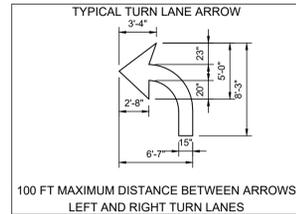
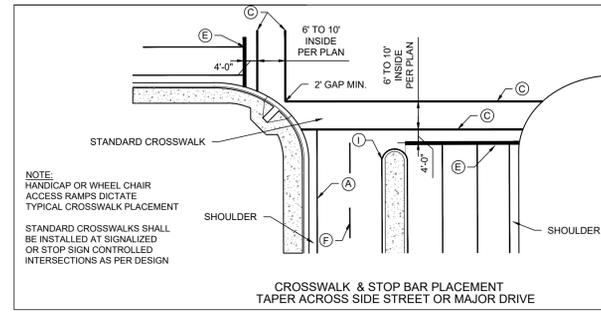


CHART #1 LENGTHS OF APPROACH STRIPING (FT.) SEE NOTE 5 & 6		CHART #3 SINGLE TURN LANE STORAGE (MINIMUM - FT) TURNING VEHICLES PER HOUR										CHART #3 NOTES:
SPEED	DISTANCE (X)	MPH	30-60	61-90	91-120	121-150	151-180	181-210	211-240	241-270	271-300	
30	500	55	365	390	415	440	465	490	515	540	565	590
35	550	50	300	325	350	375	400	425	450	475	500	525
40	600	45	280	280	295	320	345	370	395	420	445	470
	700	40	280	280	280	285	310	335	360	385	410	
	800	35	280	280	280	280	290	315	340	365	390	
	900											
	1000											
	1100											
CHART #2 DISTANCE BETWEEN CROSS HATCHED LINES		CHART #4 DUAL TURN LANE STORAGE (MIN. - FT) TURNING VEHICLES PER HOUR										CHART #4 NOTES:
POSTED SPEED LIMIT (M.P.H.)	Z (FT.)	MPH	0-240	241-300	301-360	361-420	421-480	481-540	541-600	>600		
≤ 40	20	55	490	515	540	565	590	615	640	665		
45	30	50	450	450	475	500	525	550	575	600		
≥ 50	40	45	450	450	450	450	470	495	520	545		
		40	450	450	450	450	450	450	450	465		
		35	450	450	450	450	450	450	450	485		

DATE: 07/17/25
 REVISION: 01/15/25
 MARK: 1
 DESIGNED BY: AWS
 DRAWN BY: LIF
 CHECKED BY: AWS
 SCALE: N.T.S.
 DATE: 08/19/24

THE DRAWING IS THE PROPERTY OF SCHULKE, BITTLE & STODDARD, L.L.C. IT IS TO BE USED ONLY FOR THE PROJECT AND LOCATION SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF SCHULKE, BITTLE & STODDARD, L.L.C.

SCHULKE, BITTLE & STODDARD, L.L.C.
 CIVIL & STRUCTURAL ENGINEERING • LAND PLANNING • ENVIRONMENTAL PERMITTING
 1717 INDIAN RIVER BLVD., SUITE 201, VERO BEACH, FLORIDA 32960
 TEL: 772 / 770-9622 FAX: 772 / 770-9496 EMAIL: info@sbsengmeers.com

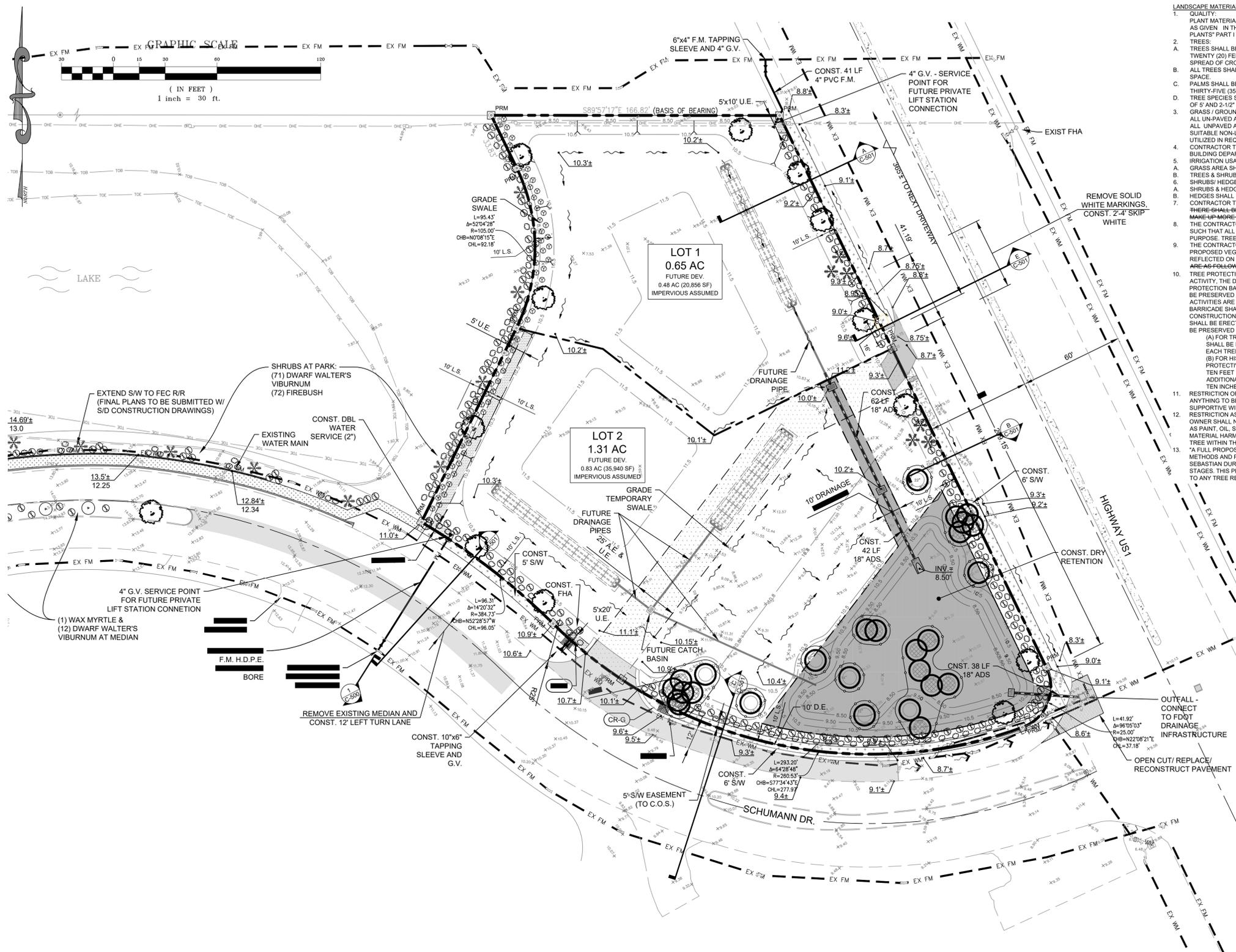
TYPICAL PAVEMENT MARKING DETAILS

MAXWELL - SCHUMANN
 COMMERCIAL SID
 SEBASTIAN, FLORIDA
 CITY OF SEBASTIAN

ENGINEER CERTIFICATION
 JOSEPH W. SCHULKE
 FL. REG. NO. 47948
 JOSHUA B. BITTLE
 FL. REG. NO. 57396
 WILLIAM P. STODDARD
 FL. REG. NO. 37605
 Signed by: *Joseph Schulte*
 DATE: 10/20/26

2/25/2026

SHEET: C-517
 PROJECT NO.: 22-031



- LANDSCAPE MATERIAL STANDARDS & NOTES:**
- QUALITY: PLANT MATERIALS USED SHALL CONFORM TO THE STANDARDS FOR FLORIDA NO. 1 OR BETTER, AS GIVEN IN THE MOST CURRENT EDITION OF "GRADES AND STANDARDS FOR NURSERY PLANTS" PART I AND PART II, STATE OF FLORIDA.
 - TREES: TREES SHALL BE SPECIES HAVING AN AVERAGE MATURE SPREAD OF CROWN OF GREATER THAN TWENTY (20) FEET OR GROUPED TO FORM THE EQUIVALENT OF A TWENTY (20) FEET MATURE SPREAD OF CROWN.
 - ALL TREES SHALL BE SPECIES WHICH CAN BE MAINTAINED WITH OVER 6 FEET OF CLEAR TRUNK SPACE.
 - PALMS SHALL BE CONSIDERED TREES AND, IF USED, THEY SHALL CONSIST OF NO MORE THAN THIRTY-FIVE (35) PERCENT OF THE TOTAL NEW TREE REQUIREMENT.
 - TREE SPECIES SHALL BE A MINIMUM OF TWELVE (12) FEET OVERALL, WITH A MINIMUM SPREAD OF 5 AND 2-1/2" DIAMETER AT THE TIME OF PLANTING.
 - GRASS / GROUND COVER: ALL UNPAVED AREAS EXCEPT PLANTERS, MULCHED LANDSCAPE BEDS, TO BE SODED (BAHIA). ALL UNPAVED AREAS OTHER THAN GRASSED AREAS SHALL BE COVERED W/ MULCH OR SUITABLE NON-LIVING OR VEGETATIVE GROUND COVER. NO MORE THAN 50% GRASS SHALL BE UTILIZED IN REQUIRED LANDSCAPE AREAS.
 - CONTRACTOR TO SUBMIT IRRIGATION PLAN TO THE ENGINEER FOR APPROVAL AND TO THE BUILDING DEPARTMENT FOR PERMIT PRIOR TO COMMENCEMENT OF LANDSCAPE INSTALLATION. IRRIGATION USAGE ZONES SHALL BE AS FOLLOWS:
 - GRASS AREA SHALL BE IN HIGH USAGE ZONES.
 - TREES & SHRUBS SHALL BE IN LOW USAGE ZONES.
 - SHRUBS & HEDGES SHALL BE A MIN. OF 24" HEIGHT AT PLANTING.
 - HEDGES SHALL BE PLANTED AT A MIN. OF 30" O.C. AT PROPERTY LINES.
 - CONTRACTOR TO SUBMIT IRRIGATION PLAN TO THE ENGINEER FOR APPROVAL AND TO THE THERE SHALL BE A MIN. OF THREE (3) DIFFERENT SPECIES OF TREES AND NO SPECIES SHALL MAKE UP MORE THAN 50% OF PROPOSED TREES.
 - THE CONTRACTOR SHALL COORDINATE THE PLACEMENT OF TREES, STREET LIGHTS AND SIGNS SUCH THAT ALL SIGNAGE IS EASILY SEEN AND LIGHTING IS FUNCTIONING FOR ITS INTENDED PURPOSE. TREE PLACEMENT MAY VARY FROM THIS PLAN TO ACHIEVE THIS REQUIREMENT.
 - THE CONTRACTOR SHALL SUBMIT TO THE OWNER AND ENGINEER, A LIST AND PLAN OF THE PROPOSED VEGETATION PLANTINGS TO BE USED TO MEET THE REQUIREMENTS OF THE CITY, AS REFLECTED ON THIS PLAN. SUGGESTED VEGETATION TO BE INCORPORATED IN THIS PROJECT ARE AS FOLLOWS:
 - TREE PROTECTION BARRICADES: PRIOR TO DEVELOPMENT OR CONSTRUCTION ACTIVITY, THE DEVELOPER SHALL ERECT SUITABLE BRIGHTLY COLORED TREE PROTECTION BARRICADES, A MINIMUM FOUR FEET TALL, AROUND ALL TREES TO BE PRESERVED AND SHALL REMAIN IN PLACE UNTIL THE CONSTRUCTION ACTIVITIES ARE COMPLETED. THE AREA WITHIN THE TREE PROTECTION BARRICADE SHALL REMAIN FREE OF ALL BUILDING MATERIALS, DIRT OR OTHER CONSTRUCTION DEBRIS, VEHICLES AND DEVELOPMENT ACTIVITIES. BARRICADES SHALL BE ERECTED AT A MINIMUM DISTANCE FROM THE BASE OF THE TREES TO BE PRESERVED ACCORDING TO THE FOLLOWING STANDARDS:
 - FOR TREES TEN INCHES OR LESS DBH, TREE PROTECTION BARRICADES SHALL BE PLACED A MINIMUM DISTANCE OF FIVE FEET FROM THE BASE OF EACH TREE TO BE PROTECTED.
 - FOR HISTORIC TREES AND TREES GREATER THAN TEN INCHES DBH PROTECTIVE BARRICADES SHALL BE PLACED AT A MINIMUM DISTANCE OF TEN FEET FROM THE BASE OF EACH TREE TO BE PROTECTED PLUS AN ADDITIONAL ONE FOOT FOR EACH ADDITIONAL INCH DBH GREATER THAN TEN INCHES.
 - RESTRICTION OF ATTACHMENTS TO TREES: IT SHALL BE UNLAWFUL TO ATTACH ANYTHING TO BE A PROTECTED, HISTORIC, OR SPECIMEN TREE OTHER THAN SUPPORTIVE WIRES, BRACES OR OTHER SIMILAR NONINJURIOUS MATERIALS. RESTRICTION AS TO HARMFUL MATERIALS: THE DEVELOPER OR PROPERTY OWNER SHALL NOT CAUSE OR ALLOW THE DISPOSAL OF WASTE MATERIAL SUCH AS PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR OR ANY OTHER MATERIAL HARMFUL TO THE LIFE OF A PROTECTED, SPECIMEN OR HISTORIC TREE WITHIN THE DRIPLINE OF SUCH TREE OR GROUPS OF TREES.
 - A FULL PROPOSAL FOR THE RELOCATION OF THE TREES, INCLUDING THE METHODS AND PROPOSED TIMELINES, WILL BE REQUIRED BY THE CITY OF SEBASTIAN DURING THE LAND CLEARING AND SITE IMPROVEMENT PERMITTING STAGES. THIS PROPOSAL MUST BE APPROVED BY THE CITY OF SEBASTIAN PRIOR TO ANY TREE RELOCATION ACTIVITIES TAKING PLACE.

TREE LEGEND

- OAK TO REMAIN (8 TREES)
- OAK TO REMOVE (12 TREES) (SEE SHEET C-200, C-300, C-500)
- OAK TO RELOCATE (0 TREES) (SEE SHEET C-200, C-300, C-500)
- CABBAGE PALM TO REMAIN (19 TREES)
- CABBAGE PALM TO REMOVE (3 TREES) (SEE SHEET C-200, C-300, C-500)
- CABBAGE PALM TO RELOCATE (21 TREES) (15 OFF-SITE) - SCHUMANN PARK (6 ON-SITE) (SEE SHEET C-200, C-300, C-500)
- PINE TREE
- PINE TREE TO REMOVE (1 TREE) (SEE SHEET C-200, C-300, C-500)
- TREE PROTECTION BARRIER
- RELOCATED CABBAGE PALMS (21 FROM ON-SITE)
 - 6 ON-SITE LOCATION
 - 15 TO SCHUMANN PARK
- PROPOSED OAK TREE (12 TREE)
- PROPOSED SHRUB (344 SHRUBS)
- EXISTING TREE IN MEDIAN TO REMAIN (5 TREES)

MITIGATION REQUIRED

- SPECIMEN TREES TO BE REMOVED: >10" = 12 TREES
- REPLACE WITH (12) TREES: 12' HEIGHT / 2 1/2" DIA.

TOTAL LANDSCAPE MATERIAL SCHEDULE

TREES									
SYM	QTY	BOTANICAL NAME	COMMON NAME	SIZE	HGT	OTHER	NATIVE	DROUGHT TOLERANCE	
QV	12	Quercus virginiana	Live Oak	2 1/2" DBH	12'-0"	6' SPREAD	YES	HIGH	
SHRUBS									
CLU	122	Clusia Rosea	Clusia	-	30"	30" O.C.	YES	HIGH	
HAM	149	Hamelia Patena	Firebush	-	24"	30" O.C.	YES	HIGH	
VIB	141	Viburnum Obavatum	Walter's Viburnum	-	30"	30" O.C.	YES	HIGH	

TOTAL = 412. *CONTRACTOR MAY SUBSTITUTE NUMBER OF EACH SPECIES AT HIS DISCRETION, PLACING "RIGHT TREE/RIGHT LOCATION" USING BEST HORTICULTURAL PRACTICES. CONTRACTOR SHALL SUBMIT PLAN TO ENGINEER INDICATING SPECIES PLACEMENT. ANY CHANGES TO THE LANDSCAPE MATERIAL SCHEDULE AFTER APPROVAL BY THE CITY OF SEBASTIAN WILL REQUIRE NOTICE TO THE CITY AND VERIFICATION WITH THE COMMUNITY DEVELOPMENT DEPARTMENT THAT THE PROPOSED CHANGES STILL COMPLY WITH THE REQUIREMENTS OF THE LAND DEVELOPMENT CODE.

- ONSITE REQUIRED LANDSCAPING:**
- PURSUANT TO APPROVED LANDSCAPE PLAN, LOCATED IN EXHIBIT 'C' - THE "PUBLIC BENEFIT PLAN" OF THE PARCEL EXCHANGE AGREEMENT DATED NOVEMBER 14TH, 2023.

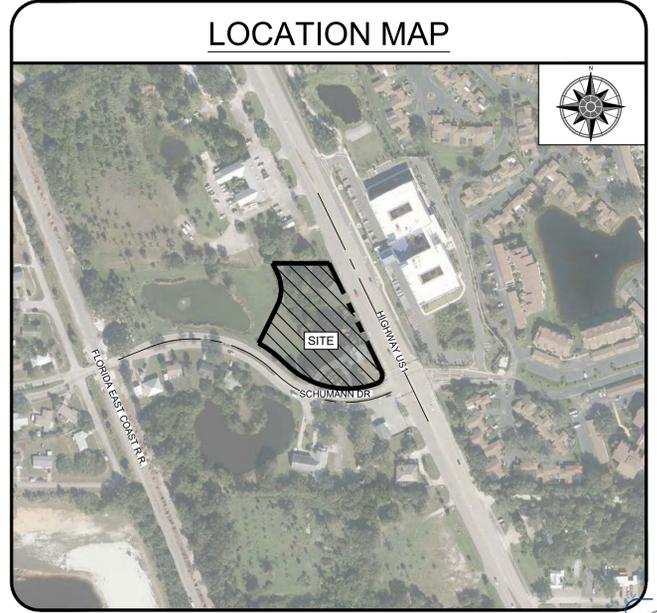
REQUIRED OAKS:

1 / 55 LF x (240' W + 400' S + 390' E) = 19 TREES

PROVIDED TREES: 12 NEW OAKS
8 EXISTING OAKS
19 EXISTING CABBAGE PALMS TO REMAIN
6 EXISTING CABBAGE PALMS (RELOCATE ON-SITE)
 - REQUIRED HEDGE:**

1 / 2.5 LF x (240' W + 400' S + 390' E) = 412 REQ'D

PROVIDED HEDGE: 412 SHRUBS AS SHOWN



SCHULKE, BITTLE & STODDARD, L.L.C.
 CIVIL & STRUCTURAL ENGINEERING - LAND PLANNING - ENVIRONMENTAL PERMITTING
 CERTIFICATION NO. 00008688
 1717 INDIAN RIVER BLVD., SUITE 201 VERO BEACH, FLORIDA 32960
 TEL 772.770.9622 FAX 772.770.9496 EMAIL info@sbsengineering.com

LANDSCAPE PLAN

MAXWELL - SCHUMANN COMMERCIAL S/D SEBASTIAN, FLORIDA CITY OF SEBASTIAN

SHEET **C-600**
 PROJECT NO. 22-031

DATE: 04/19/2023

REV	PER FOOT MARKS COMMENTS	DATE
1	REV PER FOOT MARKS COMMENTS	04/19/2023
2	REV PER COS COMMENTS	
3	REV PER COS COMMENTS	

ENVIRONMENTAL ASSESSMENT REPORT
600 SCHUMANN DRIVE
INDIAN RIVER COUNTY, FLORIDA

March 20, 2022

Prepared by:



*ECOLOGICAL CONSULTING OF FLORIDA
850 NW FEDERAL HIGHWAY, SUITE 109
STUART, FL 34994*

2220.00

1.0 INTRODUCTION

This assessment is in support of the due diligence for the subject ±1.92-acre site.

2.0 SITE LOCATION

The project is located within Section 17, Township 31 South, Range 39 East within the City of Sebastian, Indian River County, Florida (Figure 1). Specifically, the project is located on the east side of Highway A1A approximately 1.55 miles south of the intersection of US 1 and Sebastian Boulevard. Specifically, the property is located at 600 Schumann Drive, in the northwest quadrant of US 1 and Schumann Drive.

The parcel has and an existing commercial building and associated parking, with open space on site. Bordering land uses include US 1, commercial and residential properties and an open space park.

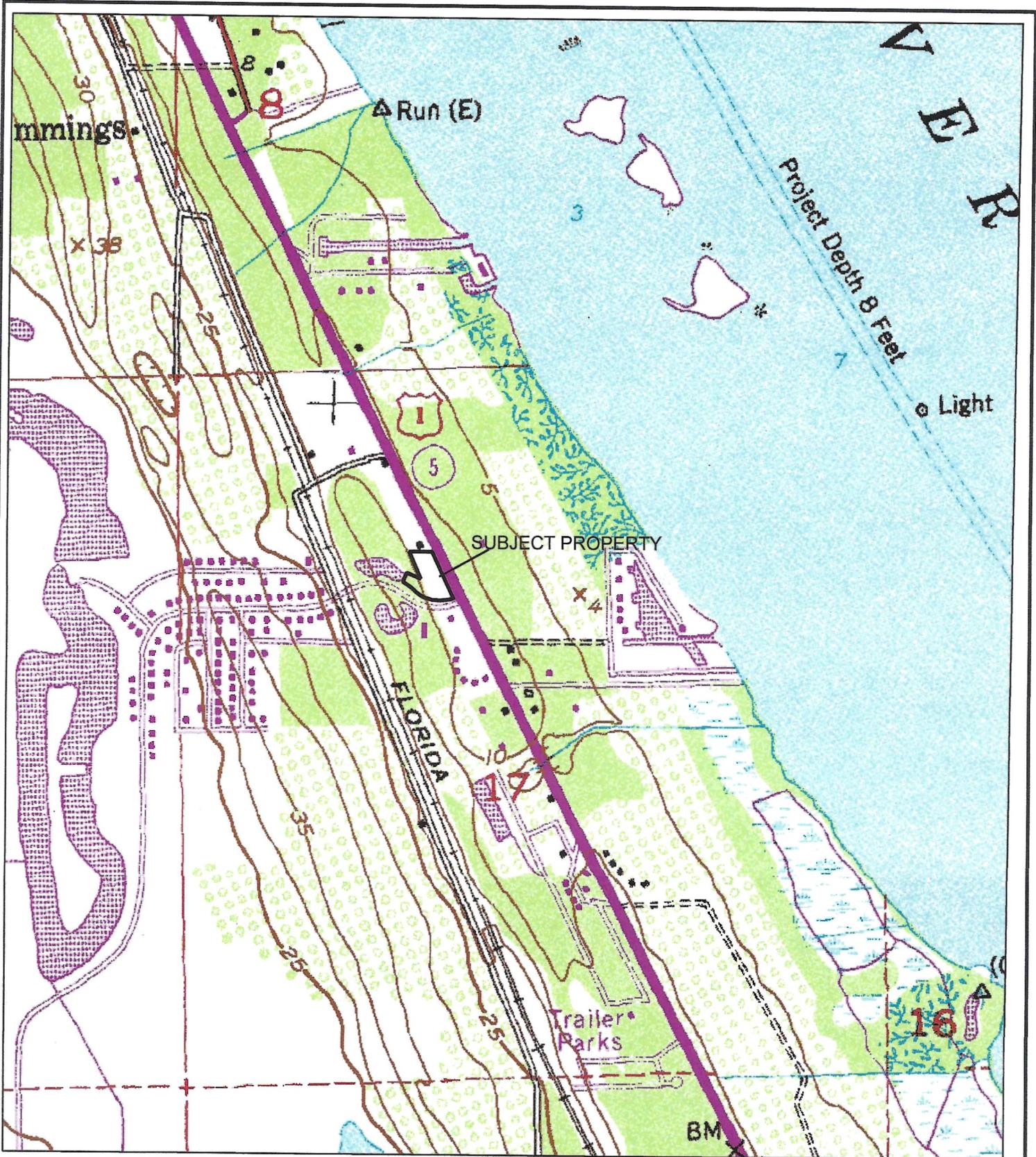
3.0 METHODOLOGY

The assessment methodology consisted of the review of topographic information, soils maps, and recent aerial photographs.

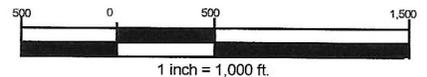
A field reconnaissance of the subject parcel was then conducted which included pedestrian transects through the parcel to map and identify specific habitat and land uses and vegetative cover types. A perimeter transect was conducted to confirm features that extend off site. Field notes were taken and an aerial photograph was marked with land use and cover types and any environmental findings.

4.0 TOPOGRAPHY/HYDROLOGY

According to the U.S.G.S. topographic quadrangle (Sebastian, FL), the site has an average elevation of 10 feet NGVD (Figure 1). The site is vacant with no evidence of structures, depressions, ditching or wetlands. US 1 abuts the east side of the property, with Shumann Drive to the south and an open water to the west. Surrounding properties are undeveloped except for a structure on the property to the north. Field reconnaissance indicates that a commercial office and parking are located on site. A ditch is located on site and connects to a small ditch going west off site. There are no wetlands on site.



THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, AS AN INSTRUMENT OF SERVICE, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADOPTION BY ECOLOGICAL CONSULTING OF FLORIDA SHALL BE WITHOUT LIABILITY TO ECOLOGICAL CONSULTING OF FLORIDA.



TOPOGRAPHIC MAP
600 SCHUMANN DRIVE
INDIAN RIVER COUNTY FLORIDA



FIGURE 1
DATE: 3-20-22
PROJECT No. 2220.00

5.0 SOILS

According to the *Web Soil Survey of Indian River County, FL* (NRCS – Web Soil Survey), the following soils are found on site (Figure 2).

Immokalee fine sand (4)

The soil is common in the County and generally found in flatwood communities. The soil is not considered hydric.

On site reconnaissance indicates that soils are intact with only surface disturbance from past development.

6.0 SITE CONDITIONS

An assessment of the extent, distribution, and composition of vegetative communities for the site was conducted by Chris Sopotnick of Ecological Consulting of Florida (ECF), on March 14, 2022.

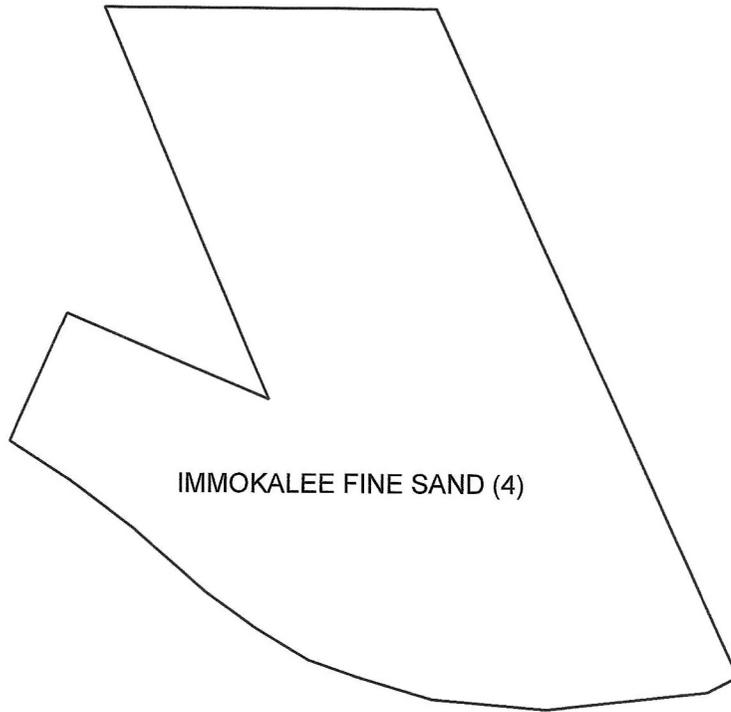
Pedestrian transects were conducted throughout the site with vegetative communities mapped on a recent aerial photograph.

A description of each community type is provided in the Habitat/Land Use section of this report

7.0 HABITAT/LAND USE

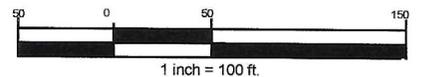
Onsite habitats and adjacent land uses have been characterized using the *Florida Land Use Cover Classifications System* (FWC, 2009) (FLCCS), and are described below and depicted on the Land Use and Cover Map (Figure 3).

- 4220 – Ditch: The ditch is a broad area 20 feet wide by 2 feet deep along the west boundary of the site. This ditch is sparsely vegetated but includes Brazilian pepper (*Shinus terebinthifolius*), along the edge along with a few Carolina willow (*Salix caroliniana*) and pockets of wedelia (*Sphagnetiola trilobata*).
- 7300 – Brazilian Pepper. This area is dominated by Brazilian pepper and includes a few cabbage palms (*Sabal palmetto*).
- 17211 – Open Land. This area has been previously cleared of native vegetation and grassed with bahia grass (*Paspalum notatum*). The area is regularly mowed.



IMMOKALEE FINE SAND (4)

THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, AS AN INSTRUMENT OF SERVICE, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADOPTION BY ECOLOGICAL CONSULTING OF FLORIDA SHALL BE WITHOUT LIABILITY TO ECOLOGICAL CONSULTING OF FLORIDA.



SOILS MAP
600 SCHUMANN DRIVE

INDIAN RIVER COUNTY FLORIDA

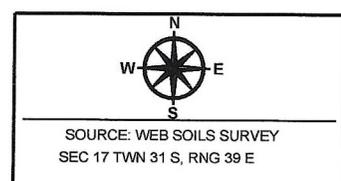
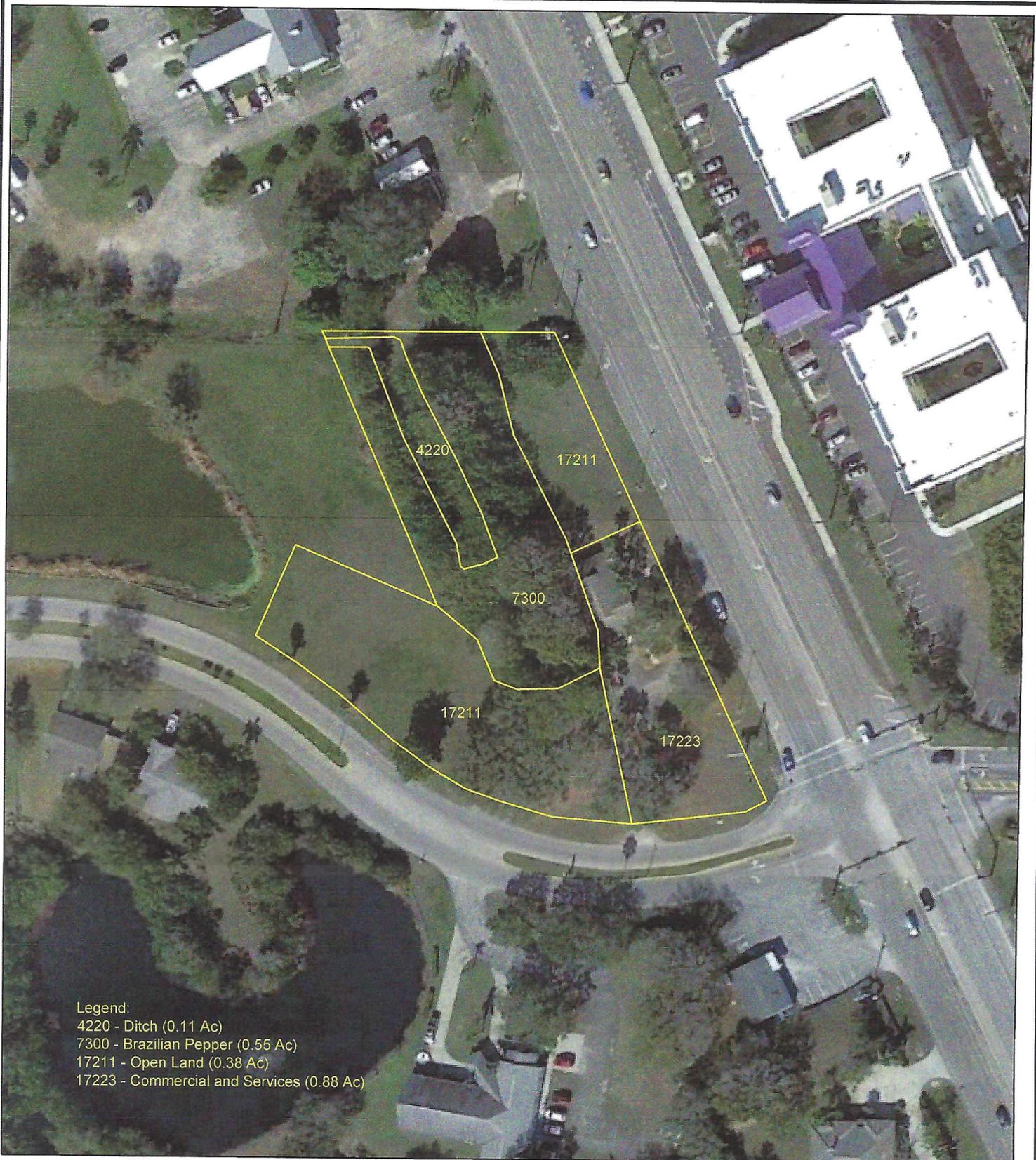


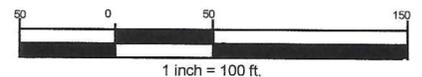
FIGURE 2

DATE: 3-20-22

PROJECT No. 2220.00

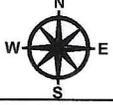


THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, AS AN INSTRUMENT OF SERVICE, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADOPTION BY ECOLOGICAL CONSULTING OF FLORIDA SHALL BE WITHOUT LIABILITY TO ECOLOGICAL CONSULTING OF FLORIDA.



LAND USE AND COVER MAP
600 SCHUMANN DRIVE

INDIAN RIVER COUNTY FLORIDA



SOURCE: GOOGLE EARTH
SEC 17 TWN 31 S, RNG 39 E

FIGURE 3

DATE: 3-20-22
PROJECT No. 2220.00

- 17223 – Commercial and Services. This land cover is built out with a commercial office building and associated parking. Laurel oaks (*Quercus laurifolia*), and other ornamentals are found in the cover type.

TABLE 1 – LAND USE AND COVER SUMMARY			
FLCCS CODE	COMMUNITY NAME	ACRES	PERCENT
4220	Ditch	0.11	5.7
7300	Brazilian Pepper	0.55	28.7
17211	Open Land	0.88	45.8
17223	Commercial and Services	0.38	19.8
Total Area		1.92	100.0

8.0 CRITICAL HABITAT/ LISTED SPECIES OBSERVATION

A cursory habitat assessment made during this event determined if the habitat was suitable for listed species that generally utilize the area.

The site is fairly open with a cluster of Brazilian pepper present. The site falls within the US Fish and Wildlife Consultation area for the Florida Scrub Jay. This bird is found in this area of Sebastian nesting in scrub habitat and utilizing open areas for foraging. A scrub jay survey was conducted from March 14 – March 18, 2022. No scrub jays were observed during the monitoring (See Appendix 1).

Non-listed wildlife or signs of species observed include cottontail rabbit and raccoon (tracks/scat). All species of wildlife observed are typical representatives of the habitats on site. None are unusual for the Indian River County area.

A database search of Florida Fish and Wildlife Conservation Commission (FWC) records for documented bald eagle nests was conducted and none were noted for the property or within 0.5 mile of the site.

The Florida Natural Areas Inventory (FNAI) provides a matrix by County of rare and endangered species in Florida. Based on the known distribution and preferred habitats of certain species, the following listed wildlife has the potential to occur on site:

TABLE 2 – FNAI LISTED SPECIES				
COMMON NAME	SCIENTIFIC NAME	EVIDENCE/SIGHTING	STATUS	
			FWC	USFWS
Eastern Indigo snake	<i>Drymarchon corias couperi</i>	Not observed	T	T
Gopher tortoise	<i>Gopherus polyphemus</i>	Not observed	T	
Gopher frog	<i>Rana capito</i>	Not observed	SSC	
Florida pine snake	<i>Pituophis melanoleucus mugitus</i>	Not observed	SSC	
Florida Panther	<i>Puma concolor coryi</i>	Not observed	E	E
Burrowing owl	<i>Speotyto cunicularia</i>	Not observed	SSC	
Woodstork	<i>Mycteria Americana</i>	Not observed	E	E
American Alligator	<i>Alligator mississippiensis</i>	Not observed	T	T
Crested caracara	<i>Caracara cheriway</i>	Not observed	T	T
Florida scrub-jay	<i>Aphelocoma coerulescens</i>	Not observed	T	T
Piping Plover	<i>Charadrius melodus</i>	Not observed	T	T
Red-cockaded woodpecker	<i>Picoides villosus</i>	Not observed	E	E
Southeastern American kestrel	<i>Falco sparverius paulus</i>	Not observed	T	
Florida sandhill crane	<i>Grus Canadensis pratensis</i>	Not observed	SSC	
Osprey	<i>Pandion haliaetus</i>	Not observed	SSC	
Snail kite	<i>Rostrhamus sociabilis plumbeous</i>	Not observed	E	E
Least tern	<i>Sterna antillarum</i>	Not observed	T	
Sherman's fox squirrel	<i>Sciurus niger shermani</i>	Not observed	SSC	
Manatee	<i>Trichechus manatus</i>	Not observed	E	E

Abbreviations:
 SSC = Species of Special Concern, T = Threatened
 USFWS = United States Fish and Wildlife Service, FWC = Florida Fish and Wildlife Conservation Commission,

9.0 WETLANDS AND SURFACE WATERS

The soils map, topographic map and National Wetland Inventory (NWI) were reviewed to identify potential wetland areas. Subsequent field reconnaissance was performed to confirm limits of wetlands within the project site.

The soils map identified non-hydric soils on the site.

The topographic map was reviewed and identified an elevation of 10 NGVD. No wetlands, ditches or depressions were noted on the topographic map.

The NWI map did not identify any wetlands or surface waters on the site (Appendix 2).

On site reconnaissance identified was performed and no wetlands were identified. A surface water, the ditch is present.

The ditch will fall under the permitting jurisdiction of the St. Johns River Water Management District (SJRWMD), and potentially the Florida Department of Environmental Protection (FDEP). This feature is classified as an other surface water by SJRWMD and does not require mitigation, only to be addressed in the permit. At the federal level, the FDEP may consider this ditch jurisdictional and therefore require permitting if impacted. Based on review of the site it is likely that this site may be able to qualify for a No Permit required determination from FDEP and therefore be exempt from jurisdiction.

During the planning and permitting, both SJRWMD and FDEP will need to be contacted to confirm permitting responsibilities.

10.0 CONCLUSION

The subject property includes a commercial building, exotic vegetation and a ditch on site. The parcel abuts a local park to the west.

At the state and federal level, it is anticipated that the ditch will be classified as a surface water and likely only be considered jurisdictional by SJRWMD, and should qualify for a No Permit Required by the FDEP.

A scrub jay survey was conducted in accordance with USFWS methodology within the survey month of March. No scrub jays were observed during any event.

APPENDIX 1 – SCRUB JAY SURVEY

Scrub Jay Survey
600 Schumann Drive
March 14 – 18, 2022
 Survey Performed by **Chris Sopotnick**

<u>Date/Times</u>	<u>Station#</u>	<u>Results</u>	<u>Weather Conditions</u>
3/14/22 08:00/08:20	1	no birds	5-8 MPH NE /clear sky 70 °
	2	no birds	
3/15/22 09:20/09:40	1	mocking bird	10-15 MPH NE/ overcast 70°
	2	no birds	
3/16/22 09:30/09:50	1	no birds	5-8 MPH SW/ overcast 74°
	2	no birds	
3/17/22 09:00/09:20	1	bluejay	0- 5 NW MPH W/ clear 72°
	2	no birds	
3/18/22 08:00/08:20	1	no birds	0-5 NE MPH E/ clear 70°
	2	no birds	

APPENDIX 2 – National Wetland Inventory Map



U.S. Fish and Wildlife Service

National Wetlands Inventory

600 Shumann Drive



March 20, 2022

Wetlands

- Estuarine and Marine Deepwater
- Estuarine and Marine Wetland
- Freshwater Emergent Wetland
- Freshwater Forested/Shrub Wetland
- Freshwater Pond
- Lake
- Other
- Riverine

This map is for general reference only. The US Fish and Wildlife Service is not responsible for the accuracy or currentness of the base data shown on this map. All wetlands related data should be used in accordance with the layer metadata found on the Wetlands Mapper web site.

**CITY OF SEBASTIAN
PLANNING AND ZONING COMMISSION/LOCAL PLANNING AGENCY MINUTES
REGULAR MEETING, THURSDAY, JANUARY 15, 2026**

- I. Call to Order -- Chairperson Kautenburg called the meeting to order at 6:00 p.m.
- II. Pledge of Allegiance -- was recited by all.
- III. Roll Call
Present:

Mr. Roberts (a)
Mr. Garton (a)
Ms. Kautenburg
Ms. Lorusso

Mr. Reno
Ms. Battles
Ms. Kinchen
Ms. Geesey

Absent:

Mr. Carter -- Excused

Also Present

James Stokes, City Attorney
Alix Bernard, Community Development Director
Dorri Bosworth, Community Development Manager
Michelle Faulkner, Senior Planner
Jason Munoz, AV Technical Assistant
Janet Graham, Technical Writer

**Sebastian Planning &
Zoning Commission**
Approved AS Sub. #14 Date 2/5/2026
Signature *Shirley Kautenburg*
(Original Stamp Red)

- IV. Announcements and Agenda Modifications:

Ms. Kautenburg announced that Mr. Carter has been excused from this meeting, and our alternate, Mr. Garton, will be voting in his place.

An appeal to the Commissioners' denial of the Ameron RV and Boat Storage facility at the December 18th, 2025 meeting has been submitted and, in accordance with the timeline specified in the Land Development Code, the hearing of that appeal before the City Council has been scheduled for Wednesday, January 28, 2026 at 6:00 p.m.

She also stated that as part of what we are required to do at this meeting, we are to nominate and elect a Chairperson and a Vice-Chair. Mr. Carter has sent a note indicating that, just in case someone felt the desire to nominate him, he would not accept a nomination.

- V. Approval of Minutes: Regular meeting of December 18, 2025

PLANNING AND ZONING COMMISSION/LOCAL PLANNING AGENCY PAGE 2
MINUTES OF REGULAR MEETING
JANUARY 15, 2026

All Commissioners having indicated that they had reviewed the Minutes of December 18, 2025, Ms. Kautenburg called for a motion. A motion accepting the Minutes of December 18, 2025 as presented was made Ms. Kinchen, seconded by Mr. Garton, and approved unanimously via voice vote.

VI. Planning and Zoning (P&Z) Commission Public Hearings

City Attorney James Stokes read the title into the record.

- A. Public Hearing TABLED from December 18, 2025 meeting -- Recommendation to City Council -- **Preliminary Re-Plat -- Maxwell-Schumann Commercial Subdivision** -- Replating of 1.93 acres consisting of eight lots to a two-lot commercial subdivision with proposed stormwater tracts, ingress and egress easements, necessary improvements, and including previously agreed upon off-site improvements. Current Zoning is CG (Commercial General) and Future Land use is CG (General Commercial)

Ms. Kautenburg called for comments from the public regarding this item, and she explained the process. There being no comments from the public, she called for the presentation from the applicant at this time.

Mr. Joseph Schulke, of Schulke, Bittle & Stoddard, LLC introduced himself. He stated that he is here tonight representing Todd Maxwell in his proposal to get the preliminary plat approved for the property at the northwest corner of Schumann Drive and US1. He reviewed the history of the property. His client has proposed to basically subdivide that into two lots to make it potentially more developable. They are also proposing to put a master stormwater system in, and they are proposing to make sure there is water and sewer service for both lots, and they are proposing some additional landscaping on the site. Normally, landscaping would not be required, but he reviewed that a year or a year and a half ago they came to this Commission and then to City Council because they did a land swap for a small piece of property between the Schumann Park and this property because it was really odd shaped, like a corner piece of land sticking into it and into the Park. Thus, it just made sense to have almost like an even land swap which would make a nice even lot line. In doing so, his client agreed to landscape the perimeter of their site, even though it would usually not be done at the preliminary plat level, as well as add additional landscaping in the Park, add a crosswalk at US1 crossing to the southwest corner, adding a crosswalk across Schumann Drive parallel to US1, adding a sidewalk down Schumann Drive all the way to the railroad tracks. So they are some extra things that the applicant agreed to do as part of the agreement for the land swap.

He said that the reason the applicant is here tonight is just to ask for a preliminary plat approval to subdivide this property into two lots. What would happen if the Commissioners do approve this, the applicant would get a subdivision construction permit to actually do the generalized improvements for the water and sewer and the drainage, and the landscaping, and they would submit a final plat to the Planning and Zoning Commission and/or City Council to actually record those two lots at a later date. The applicant is not here tonight asking for approval for actual buildings or what is going to be there, as they do not yet know what is going to be there, but they are trying to set it up so that it is pad-ready so when someone wants to develop it and bring in their use, a lot of the infrastructure is already there, and it will make it an easier process for them to get approved and an easier process for the staff to approve it because a lot of the preliminaries are out of the way. He stated that they did review the Staff Report, and they are in complete agreement with the Staff Report. He added that, if anyone has any questions, he will answer them.

Ms. Kautenburg called for staff presentation. Ms. Bernard said that this is a preliminary re-plat of 1.94 acres on the corner of Schumann and US1. This was part of a land swap that was done of 0.6 acres in 2023 to clean up the lot and make sure that we can work in partnership. One of those things we did in working in partnership is that there were some stipulations in Exhibit C that were done regarding landscaping and how that area was going to be beautified. All of those are outlined in the staff report as well. There are basically five different items in landscaping enhancement that the applicant is going to do as part of this preliminary plat agreement. She stated that, with that, staff finds that it is in compliance with our Land Development Regulations and our Comprehensive Plan, and staff recommends approval with the condition that they do everything listed in Exhibit C, which are the landscape requirements as follows:

1. The Public Benefits listed in Exhibit "C" of the Parcel Exchange Agreement dated November 14th, 2023 be installed before Certificate of Completion (CoC) of the Subdivision.

She called for any questions or comments from the Commissioners. There being none, Ms. Kautenburg called on anyone from the public who would like to speak, either in favor or in opposition. There being none, Ms. Kautenburg closed the hearing and called for deliberation by the Commissioners.

Ms. Lorusso thanked the staff for the work they put in when applications come in before the Commissioners even see them. They make sure they meet all of the City's Code, and they make our job very easy.

Ms. Kautenburg also thanked the staff as well as Mr. Schulke for putting this together, because she thinks it is an excellent idea. It would be very positive if we had more sites

that were already set up so that when the end user comes in, we can cut the time down and cut the stress level and save everyone a lot of time.

Ms. Battles stated that it is good to see a site that has been used, and she likes the idea of it being a higher and better use and opportunity for the community.

There being no other comments, Ms. Kautenburg called for a motion.

A motion recommending to City Council approval of the replat of Schumann property along with the public benefits listed on Exhibit "C" that the staff is requesting was made by Ms. Kinchen, seconded by Mr. Reno.

Roll Call

Ms. Kinchen -- Yes
Ms. Battles -- Yes
Ms. Kautenburg -- Yes
Mr. Garton -- Yes

Mr. Reno -- Yes
Ms. Geesey -- Yes
Lorusso -- Yes

Vote is 7-0 in favor. Motion carries.

VII. Unfinished Business -- None

VIII. New Business: Election of Chairperson and Vice-Chairperson

Ms. Kautenburg called for nominations.

Ms. Kinchen nominated Louise Kautenburg as Chairperson, seconded by Ms. Battles.
Ms. Kautenburg accepted the nomination.

Ms. Lorusso nominated Linda Kinchen as Vice-Chairperson, seconded by Ms. Geesey.
Ms. Kinchen accepted the nomination.

Roll Call

Ms. Lorusso -- Yes on both nominations
Ms. Geesey -- Yes on both
Mr. Reno -- Yes on both
Ms. Battles -- Yes on both

Ms. Kinchen -- Yes on both
Ms. Kautenburg -- Yes on both
Mr. Garton -- Yes on both

Both nominations were accepted by the nominees.

IX. Adjourn

There being no further business, Ms. Kautenburg adjourned the meeting at 6:15 p.m.

By: _____
 Louise Kautenburg, Chairperson

Date: _____

jg